



## PREFACE

These Design Guidelines are intended to provide guidance for all development and construction—new homes, home additions, site work, and landscaping—as well as any subsequent changes or alterations to previously approved plans or existing homes. The Design Guidelines will be administered and enforced by the Firerock Committee of Architecture in accordance with procedures set forth in the Firerock Declaration of Covenants, Conditions, and Restrictions (CC & R's) recorded with the State of Arizona. In the event that there is a conflict between the Design Guidelines and the CC & R's, the CC & R's shall govern and control.

Firerock Country Club is intended to be a premier private golf course community. The area offers exceptional views, a golf course experience, rolling topography and natural washes; all complimented by Sonoran Desert vegetation. The Design Guidelines set forth in this document should be viewed by each owner as their protection that this special environment will be sustained and complimented by the homes built at Firerock Country Club.

Each lot within Firerock Country Club is unique in terms of its development opportunities and constraints and will require an individualized approach in design and construction. It is expected that each residence will be designed to fit the individual features of the lot and that a natural undisturbed setting will be the underlying theme for Firerock Country Club.

These Design Guidelines are not intended to restrict homes to specific home styles but contain general statements meant to serve as procedures and rules to be followed by the home designer/architect.

These guidelines describe the visual and environmental goals as well as the procedures required when designing and constructing or remodeling a home within Firerock. Included in these goals and procedures are the minimum acceptable levels of site planning, architecture, detailing and landscape design beneath which approvals to build may not be granted by the Firerock Owners Association Committee of Architecture.

It is not the intent of these Design Guidelines to create look-alike homes or to suggest that they all have identical colors and materials, but to create a harmonious architecture and landscape environment which is compatible with and complementary to the overall vision of Firerock.

The varying terrain, and the golf course which weaves among the homes, creates a diversity of special opportunities. Each owner, architect, and builder must become thoroughly familiar with the issues which may influence the design of their individual residence, as it relates to the existing fabric of the neighborhood, adjacent homes, and the topography of the land.

These Design Guidelines focus on the physical and environmental issues addressing the architectural and landscape elements which contribute to and support this vision while also helping to support adjacent properties and Community property values.

Homes should be appropriate to a desert climate:

- ✓ Shading and shaded areas should be provided to protect from the Arizona sun
- ✓ Design should complement and reflect the natural environment of Firerock

Homes should be built with long term quality:

- ✓ Design should draw inspiration from the existing homes in Firerock and from the rich and diverse southwestern architectural heritage
- ✓ Native materials and colors should be utilized
- ✓ Homes should be built with long term quality and endurance in mind
- ✓ Authentic and “true to style” details and ornamentation should be emphasized

Buildings should contribute to the qualitative nature of Firerock:

- ✓ Proper scale, massing, and details must be utilized
- ✓ Transitional spaces between public and private spaces (courtyards, porches, low walls, ornamental fencing) should be implemented
- ✓ Massing and articulation should be varied at the front, rear and side elevations
- ✓ Designs should not overpower the overall streetscape
- ✓ Garage placement should vary from lot to lot

Homes and all site work should be designed to incorporate materials and techniques that are appropriate and remain true to the style while achieving long term sustainability.

The purpose of the Firerock Design Guidelines is to communicate those specific design and use elements that have created the unique and desirable Firerock Country Club golf course community. This guideline will also describe the Design Review Application and Approval procedure of the Firerock Community Association Committee of Architecture.

These Design Guidelines may also be amended from time to time by the Committee of Architecture (COA). It is the homeowner’s responsibility to be sure that they have the most current Design Guidelines and have carefully reviewed all applicable sections of the Firerock Community Association CC &R’s. Any illustrations in this document are intended to convey concepts and not to portray all possible applications or to portray specific methods or plans for construction. ***The Firerock COA and/or the Firerock Country Club shall not be liable for any suggestions or illustrative construction concepts and/or methods shown or contained in these Design Guidelines. The illustrations and methods are suggestions only and are to be used as guidance only in achieving the goals of the design concepts contained in this document.***

This document was updated and significantly modified and then completed in 2018. Many changes and clarifications of architectural features and design allowances have changed. As such, you may note specific details on existing homes in the community that would not be approved under these revised guidelines.

These newly revised guidelines are binding on any persons, company, or firm that intends to construct, reconstruct, or modify any permanent or temporary improvements in the Community or in any way alter the natural setting of the desert environment. Homeowners, Architects, consultants or contractors should familiarize themselves with these guidelines prior to the start of design or construction.



# FIREROCK DESIGN GUIDELINES

AMENDED AND RESTATED

DECEMBER 2018

## **Selecting your Design and Builder team:**

The most important decision in designing a custom home is the selection of your Designer or Architect and the Builder for your home.

The architect or designer of each home should be experienced in designing homes in Southwestern unique styles and also hillside topology. The architect/designer should guide the Homeowner through the process of locating the home and outdoor spaces in a complimentary manner to contribute to the livability of the Home in the unique hillside and canyon locations of Firerock Country Club Community.

The Firerock Community Association Committee of Architecture (COA) strongly recommends the use of licensed architects or experienced designers. Homes should be designed to be compatible with the southwestern Sonoran Desert environment

## **Important considerations for your home Designer or Architect include:**

- The topographical slopes and elevations of Firerock present opportunities for spectacular views and privacy to homeowners.
- The integration of each new residence in the community is critical as there are views to and from each home site from many directions.
- The architectural features of the home must be consistent with the “architectural style” of the home. Though the Community does not designate which styles of home are approved; the features and details of the home must be consistent with the style selected. There may be subjectivity to this and other interpretations of the design. All interpretations and decisions will be made at the sole discretion of the COA. Appeals of decisions made by the COA may be made to the Firerock Board of Directors.
- Within building envelopes, specific guidance may include house orientation, garage locations, building heights, location of the primary building masses, and others.
- It is the intent of these Guidelines to provide the architect or designer with flexible options in site planning and home design without diminishing the quality of the views.
- Requests to modify the shape or position of the building disturbance envelope must not negatively impact the quality of appropriate buffer distance from neighboring properties and community areas, drainage patterns, and views from adjacent properties. All considerations for building envelope reconfiguration, including relocation of driveway access, will be based upon the location of existing natural and proposed drainage washes and existing or planned driveways on adjacent lots.
- Building envelope setbacks are fixed and are not flexible:
- On downhill lots, where driveway access may occur above the main home, orientation of architectural features must address the street in a meaningful way.
- Firerock is a golf course community and special care and attention to views from the golf course or across the golf course will be considered during the review process.

### **The Custom Home builder is a key team member**

The Custom Home Builder plays an important role in determining the ultimate craftsmanship, quality and details of the construction. The Builder relationships with individual sub-contractors and craftsmen who actually perform the work is critical to the quality and eventual satisfaction you will have with your new custom home. Although the construction drawings and specifications should establish the baseline materials and methods of work to be performed, the standard of quality is established by the Builder. The standard of quality achieved, and likely the future maintenance required on your home, is the responsibility of your Builder, and depends upon the Builder's ability to direct and supervise the construction of your home. The homeowner is encouraged to research a Builder's references and consult with prior clients.

The Committee of Architecture does NOT approve Designers, Architects, or Builders but may provide a listing of many residences in the Community with reference to the property address and the applicable Architect or Designer and the Builder responsible for the site.

### **Hillside Lots require special attention and considerations**

In sloping topography, like Firerock, a predominately single level home may integrate wonderfully in moderate slopes, but not as well in steeper slopes unless a narrow house footprint is set parallel to the contours. In addition to the differences in landform, whether the site is an uphill lot or a downhill lot brings into play significantly different design issues that need to be considered. Homes with terraced floor levels shall also be predominately parallel to the contours, but will be allowed to spread wider as the steps follow the grade changes. Rooflines may be able to mask floor level transitions. Rooflines shall generally transition with grade in order to stay below the maximum height restrictions.

On uphill lots, floor levels of the home and terraces must transition with grade to minimize retaining wall heights. Site wall geometry must appear integral to the design of the home and reflect the exterior materials.

### **Lot Combination**

In cases where an Owner owns two or more contiguous lots and wants to combine the two or more lots into a single home site, the Owner must receive the consent of the Town of Fountain Hills AND the Committee of Architecture. A reconfiguration of the building envelope shall be submitted by the Owner early in the design phase, and the COA, at its sole discretion, will review and approve the reconfiguration if appropriate. The building envelope for this combined lot must be approved prior to submitting the Preliminary Design Submittal. In general, specific written approval of adjacent homes or lots is not required for a building envelope reconfiguration, although the COA may, at its sole discretion, require written approval from adjacent owners prior to acting on any proposed building envelope reconfiguration. The area of a reconfigured building envelope on more than one lot shall not be allowed to exceed seventy-five (75%) of the sum of the area of the individual building envelopes being combined.

The Owner should be aware that the combination of lots does not reduce the total amount of Association dues payable for both lots going forward and after combination. If two (2) lots are combined then the total Association dues shall be double and two (2) votes may be cast in all elections.

### **Golf Course lots**

Golf Course lots have a special circumstance in that they must have two facades of front elevation quality—one that faces the street and one that faces the golf course. When designing a home with views of the home from the golf course the design should pay special attention to:

- Provide appropriate massing and architectural detail
- Strategically located vertical elements
- Strong attention to proportion, balance and architectural detail.
- Artful site wall design, combining view fence and solid walls
- A well-conceived color and material palette
- Select outdoor furnishings compatible with home design
- A well-integrated landscape design

With all golf course lots, there is an inherent risk that golf balls and the play of golf (including the noise from golf course equipment and golfers) may impact a lot or home. Detailed site planning should be considered to take into account the possibility of errant golf balls and in particular, locations of windows and outdoor living areas. Detached forms of netting, screens, excessive landscaping, fences, solid walls, will not be permitted.

- Views from the golf course shall be considered even for lots not on the golf course. The long distance views in Firerock must be considered.

***The Firerock Community Homeowners Association and/or its Committee of Architecture shall not be held liable for any damage due to golf balls or golf-related activities.***

### **PROTECTION OF NATURAL OPEN SPACE/VEGETATION**

All natural areas outside the disturbed building envelope shall be protected by erecting a construction fence (chain link) to prevent vehicles, trash or construction staging from occurring outside the prescribed development area. In the event that a builder or their subcontractors damage areas of natural open space, the owner shall be responsible for immediately restoring the damaged area to its original and natural condition; as approved by the Firerock Community Association Committee of Architecture. Damage may be determined during site inspections and especially during the final landscape and completed home construction approval.

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## DESIGN REQUIREMENTS

Plans reflecting the natural topography, area compatibility and excellence of design are the three criteria that will receive emphasis in the design review. Well designed, contemporary homes that blend with the desert due to their simple low profile and horizontal lines, are acceptable while homes that are “transplanted” from regions with very different environments or styles are discouraged.

Design excellence will be evaluated by such elements as: topographical and environmental considerations; variety of shapes and wall planes; proportional massing; adequate window articulation, strong entry statements and consistency of design and level of detailing. The architectural character of Firerock Community should reflect the casual elegance of southwestern living. Southwestern architecture is the result of a wide variety of historical and cultural influences ranging from the Mediterranean to Mexico to the pioneering American west.

### DEVELOPMENT ENVELOPE

The “Development Envelope” as used in these Guidelines is defined as that portion of each lot within which all improvements or alterations to the existing site must be contained. A schematic drawing of each lot, reflecting the development envelope is shown on the recorded plat of Firerock Country Club Community. The development envelope may be amended pursuant to approval from the COA.

It is intended that unnecessary disturbance of the existing natural environment of a lot should be minimized even within the Development Envelope. Walls or fences will not be allowed outside the Development Envelope.

**The Extent of any Disturbance** within any particular lot is limited by the designated disturbance area for the lot as defined on the final plat of the subdivision. Additional Disturbance may be available from the original developer at an additional cost but all requests must first be submitted and approved by the COA.

### **No Disturbance Beyond Approved Disturbance Lines**

Construction perimeter disturbance area shall not exceed more than 5’0” beyond the building improvements including walls and retaining walls on the sides, front and rear yard areas, provided the areas to be disturbed are for the purpose of constructing the home. All disturbed areas shall be re-vegetated back to their natural state. All areas intended to be disturbed must be constructed as shown on a civil plan and must have prior approval by the COA before any improvements are started. Narrow frontage lots and lots with natural grades greater than 15% may be given special consideration to allow increasing the disturbance envelope in a street-side setback to provide flexibility for removal of excessively high berms and wider area for construction of the driveway, subject to review and approval by the Committee of Architecture. In the event that grading; swales and/or rip-rap) are required to protect the home from excessive water flow or erosion, all elements and materials necessary for this purpose must be pre-approved by the Committee of Architecture. (Including color of granite or rip rap) All materials used shall be indigenous to the area with natural vegetation surrounding it to recreate a natural undisturbed appearance. In the event the original Disturbance Envelope Exhibit allows for use beyond the rear yard setback, the original Disturbance Envelope prevails. The 5’0” construction disturbance area, and any additional disturbance granted used in a setback shall be included in the overall disturbance area calculations.



### **Changes in the Development Envelope**

The Committee of Architecture will consider applications for changes in configuration of the original development envelope including relocation of the driveway and re-configuration of envelope boundaries (not involving additional disturbance). Applicants first must obtain conceptual approval of envelope changes prior to submitting preliminary plans. At a minimum, a conceptual site plan with finished floor elevations and driveway location along with conceptual elevations of the house itself must be submitted for review by the Committee.

### **Applications for Additional Disturbance**

There is a process established for purchase of additional disturbance should a lot owner require more disturbance than allotted to a specific lot. This must be approved first by the COA then forwarded to the original land developer of Firerock Golf and Country Club Community Association. Please contact the Association Management office for details on this process.

## **BUILDING HEIGHT**

Homes in Firerock Country Club Community shall be designed with no major building element or ridgeline to exceed 30 (thirty) feet above natural grade.

### **Two-Story Elements and Walk-Out Designs**

Houses and elevations that display any two-story wall planes will not be permitted in Firerock. Care must be taken, especially in “walk out” designs, to break up any two-story elements or planes with significant vertical offset at the lower and upper level.

Designers and architects should scrutinize all elevations for two-story elements, which tend to occur not only on the rear, down-slope elevations, but also on side elevations on sloping lots.

Possible solutions may involve cantilevering the upper level out over the lower by a minimum of four (4) feet or extending the lower level out farther than the upper to create an uncovered area on an upper terrace. Use of shed roofs, buttressed columns and walls; equipment screen walls and planters have been used successfully, depending on the architectural style of the structure. Preference will be given to solutions that offer additional uses or space to the homeowner, that add massing to the elevation and that do not look applied. Stucco pop-out banding and stone veneer wainscot details are unacceptable methods of breaking up two-story conditions.

### **Prohibition of Three-Story Elements**

No three-story elements may be visually exposed. In addition, this element shall NOT exceed a maximum height over original natural grade of thirty (30) feet.

## **ELEVATIONS**

All elevations shall have a consistent design theme. Detail requirements shall be the same for front, side and rear elevations. All residences within Firerock Country Club shall be designed with 360 degree, four-sided architecture as the rule.

- **Porches and Front Courtyards** – At-grade porches or entry courtyards are encouraged. A front courtyard is defined by a minimum 3’0” high perimeter wall and small entry gate; it is suggested a paver patio area be provided in conjunction with the courtyard.

- **Front Doors** – Front doors and entryways shall provide a focal point for the home and be visible from the street if reasonable accommodated. All doors shall be recessed a minimum of twelve inches (12”) and be trimmed with a wrapped 2”x8” minimum or comparable trim detail. Front doors shall have significant detail including panel or other level of relief.
- **Windows** – Flush windows are not permitted. All windows must be recessed a minimum of 3 5/8” from the face of the finished exterior of the home to the face of the glass. This recess is not available by enabling a stucco (or other material) pop out.
- **Fascia’s** – Fascia detail is important to the overall design of the home. Fascia must be custom in nature and reflect the distinct style of the home.
- **Multiple Building Masses** are encouraged to avoid a monolithic structure appearance.

## **GRADING**

All lots must have “site/grading/drainage” plans(s) reviewed by the Committee of Architecture prior to the start of any construction. The plan must show site cross sections. The plan must also show existing grades at two (2) foot contour intervals, proposed finished pad elevations(s), retaining walls with top of wall and bottom of wall elevations indicated and all swales necessary for drainage. The final submittal requires a professional Arizona Engineers Seal.

## **MINIMUM HOUSE SIZE**

Livable area, excluding any garages, patios, porches, etc., shall be a minimum of 3,500 square feet of air-conditioned livable space.

## **SETBACKS**

Building setbacks shall be pre-approved as shown on the recorded plat for Firerock Country Club Community.

## **BUILDING MASSING**

In general, the massing of homes should reflect the genuine simplicity in form and elegance that is characteristic of fine homes. The following criteria represent the massing character sought in Firerock:

### **Primary Massing Goals:**

- Distinctive simplicity in form for all styles
- Long, continuous, unbroken ridgelines are discouraged.
- A desirable composition consists of a primary mass with complementary masses.
- Site walls and other site elements shall be designed as minor mass elements
- Both symmetrical and asymmetrical massing elements should be considered
- One story homes should tend in scale toward one-and-one-half story massing to offer the level of prominence required in fine estate homes
- Vertical accents do not always have to occur at the center of the building mass, and may in some cases be complimentary at the outer edges of the building.
- Proper chimney size, placement, and proportion can also create a special vertical emphasis

**Balconies and Decks**

- Second story balconies and covered terraces are encouraged.
- Balconies, covered patios and terraces shall be well-integrated into the home architecture rather than appearing to be just placed upon the surface of the exterior of the home.
- Balconies generally must not be placed at the outside edges of the home or building envelope where they can visually intrude on the private spaces of adjacent homes.

**Trellises and Arbors**

Trellises and arbors provide shade and shadow variation. They shall be designed and detailed to maintain their appearance in the desert climate, detailed with blocking and metal fasteners to minimize twisting of wooden members.

# DESIGN DETAILS

## ADDRESS MARKERS AND MAILBOXES

All mailbox and address identification must be provided as part of the overall design and approved by the COA. In general, these functions shall be accomplished without overly complicated or contrived designs that command excessive attention:

- Residents shall place their address marker and custom mailbox structure where the driveway meets the street and per any USPS or Town codes regarding height and location.
- These structures shall reflect the architecture of the home, be relatively reserved in design, and constructed of the same materials and style of the home.
- The scale of the mailbox or monument should be appropriate to the function intended and the lot.
- The materials selected for the address and mailbox structure shall be compatible with the home design and the adjacent landscape context.
- The structures shall serve to display addresses, resident names, or home name if desired.
- All numerals or name plaques shall be approved by the Committee of Architecture
- No plastic or other tubes or containers for newspapers are permitted

## AWNINGS

- All Awnings must be pre-approved by the COA prior to ordering or installation.
- Small ornamental fixed awnings are allowed if consistent with the style of the home. If made of fabric they must be maintained free of accumulated dust, dirt, fading, discoloration and fraying.
- Retractable Fabric awnings may be allowed on a case by case basis.
- All Patio sun screens are to be mounted on the interior (house) side of all headers. The enclosure of the screen shall not be visible to the Community.

## BUILDING COLORS

The exterior paint and stucco colors should be chosen to complement the natural desert landscape and the existing homes of Firerock Country Club Community. The colors on the palette shall be rich, earth tones drawn from the surrounding desert and emphasizing a residential--not commercial—feel. It is the intent of the COA to create a community of harmonious, but not uniform, colors that avoid jarring color contrasts and multiple nearby homes of the same color, but rather promote a color palette of nearby homes that complement the Community. **All paint and material colors (with the exception of flat roofs) must have a Light Reflective Values (LRV) between 30 and 45 and receive Committee of Architecture approval prior to application.** Paint colors may only receive Final COA Approval after application and review of the Site Materials Wall inspection or a larger sample on the house. Only upon written notification of approval by the Committee of Architecture and after the on-site inspection may the approved color(s) be applied. Application of an un-approved color will result in the homeowner requirement of removal and repaint at the owner's expense. The owner will be at risk for any colors or materials applied to the home prior to written approval. If the owner/builder deviates from the approved color (shades darker or lighter), the change must be approved by the COA. No owner shall have the right to demand approval of a particular color and the Committee is not obligated to approve any particular color. Paint color approval is at the sole discretion of the Committee of Architecture and their decision(s) are final.

## **DECORATIVE TRIM**

All trim shall be genuine in material composition, with the exception of wood products where composite wood trim may be considered.

## **DECORATIVE RAILINGS**

Railings may be wrought iron, concrete or carved stone, appropriate to the architecture of the home. As with all exterior materials—samples must be placed upon the construction mock-up site wall for review and approval by the COA.

Balustrades are generally discouraged in Firerock. While there is precedent in some Mediterranean architecture for use of balustrades, they can be heavy in appearance and not necessarily consistent with the refined character of Firerock.

Supporting cut stone columns shall be designed in proper proportion to the height, and generally shall not be less than twelve (12) inches in diameter at the narrow end if tapered.

## **EXTERIOR LIGHTING**

Firerock supports a “Fountain Hills Dark Sky” policy for exterior lighting to the extent possible considering the architecture of the home. (See Fountain Hills Town Zoning Ordinance Section 8.01-8.05). All exterior lighting must have a concealed light source to be in full compliance. Light fixtures should be placed and directed to avoid glare and light spill onto neighboring lots, the golf course, or toward the street. Light fixtures that feature exposed light source will be required to use opaque lens material or other approved method of screening the light source. The installed fixtures will also be evaluated from normal standing, seated, and driving perspectives from neighboring lots and/or common areas on a case-by-case. The Committee will review the fixture size, quality and design for appropriate placement.

### **Lighting Submittal Requirements:**

The environment and temperatures of Fountain Hills are extreme and it is recommended that high quality exterior fixtures be purchased, low grade hardware and finishes do not hold up well in the desert. All exterior lighting fixtures planned to be attached to or built into the structure must be shown on all submitted elevations. Cut sheets for fixtures must be provided for all exterior fixtures (including landscaping) as a part of the final submittal with the location and definition of the fixture for all fixtures shown on the home and landscape plan(s) and keyed to a fixture schedule. This fixture schedule must include fixture manufacturer, type, lumen output, finish, color, and dimensions. Transformer (low voltage) locations must be inconspicuous, screened from view from the street and neighbors, and called out on the landscape plan. Firerock recommends a warm light between 2700 and 3000 Kelvin or equivalent lumens in LED lights.

### **Lighting Locations**

With the exception of mailbox/address lighting, all exterior lighting fixtures must be within the building envelope as no lighting is permitted in natural areas outside of the building envelope. All lighting fixtures should be incorporated into the architecture of the building, walls or planting material. Post lighting must be pre-approved by the COA. Designers should not create a horizontal line of numerous and equidistant fixtures across any elevation.

### **Floodlights**

Floodlights are permissible, but may only be used for safety or security purposes, such as momentarily lighting a dark walkway or parking or storage area or lighting a dark area. All floodlighting must be circuited and controlled separately from any and all other lights. Flood lights may not be used for ambient lighting, must never be used with a timer, and must be directed downward to control light spill. Proposed floodlights must be shown on final plans and elevations. Flood lights should not become a nuisance to neighboring properties.

### **Landscape Lighting**

Low voltage lighting may be used in landscape applications to light walkways, driveway and natural features such as specimen plants and rock outcroppings. Lighting should not be used to highlight or illuminate walls or other man-made landscape features.

Up-lights will be limited to specific large, mature vegetation or natural features approved by the Committee and shown on the approved final landscape plan.

All landscape lighting will either be recessed into the ground or hidden by plant material. Elevated lighting planned for illuminating large, mature vegetation must be approved by the Committee of Architecture prior to installation.

### **EXTERIOR MATERIALS PALETTE**

Exterior elements and materials chosen should be compatible with one another in an appropriate scale for the building, consistent with the home's architectural theme and be compatible with the existing neighborhood. All architecture must demonstrate that all visible sides of the home reflect the same architectural appeal.

All surface treatments or materials shall be designed to appear as an integral part of the design, and not applied. All materials shall wrap pillars, porches, or balconies in their entirety.

Material changes should occur at inside corners. Materials applied to all elevations shall turn the corner of the structure and shall continue for the length of the building and terminate at an interior corner.

### **EXTERIOR DETAIL MATERIALS:**

The following materials are approved for use in Firerock Country Club Community Association. Submittal of actual materials is required by the COA. Final material approval is withheld until the material wall is built on the site. It is the builder's responsibility to contact the Management office to schedule a review of the material wall by the COA. This step is crucial for both the owner and the COA to insure that the colors look correct in the field and match the roof, stucco, stone and finishes that were envisioned in the initial design of the home.

- Stucco/Synthetic Stucco -"Smooth" steel trowel or light to medium dash finish. Spanish lace and heavy trowel finishes are discouraged.
- Stone - Natural Stone veneers are preferred and should be with honed or natural split face finishes. All corners must be finished—no "cut" faux stone corners. Material changes should occur at inside corners. Stone applied to any elevation shall continue for the length of the building or terminate at an interior corner.

- Wood - Wood may be used in limited applications if properly sized, braced or bracketed to prevent unsightly twisting and warping. Wood should be used as an accent trim or for trellises and pergolas.
- Metal - High quality Metal accents such as railings and gates are encouraged if properly prepared, (i.e. galvanized or primed to prevent rusting).
- Structural Supports - Supporting wood posts shall be a minimum of eight (8) by eight (8) inches minimum. Exposed roof rafter tails shall be wood and a minimum of four (4) inches in thickness.

**PROHIBITED MATERIALS** - Certain materials may be prohibited. These shall include, but are not limited to, mirrored glass, wood siding, cultured marble, asphalt shingles and metal siding

## **WINDOW & DOOR DETAILS AND QUALITY**

- Wood or aluminum clad wood windows or high quality aluminum windows are required with divided lights appropriately configured and proportioned for the style of the home.
- All windows must be recessed a minimum of three and five eighth (3 5/8") inches from the face of the finished exterior of the home to the face of the glass. This recess is not available by enabling a stucco (or other material) pop out.
- Headers over windows, where present, shall be properly proportioned for the opening. No false applied headers will be allowed.
- Circular, elliptical, or other special window shapes may be used as accent windows on a limited, case by case basis appropriate to each home style.
- Divided lites in windows must either be true divided lites or must have the dividers on the outside and inside of the glazing of the window to simulate true divided lites. Individual lites shall be square or rectangular, generally with vertical proportions, unless a custom arch application is utilized..
- No highly reflective glazing may be used
- Stained glass windows and door inserts require specific approval. Large windows and bright colors may not be appropriate if in public view.
- Glass block shall not be allowed unless specifically approved on a case by case basis.
- Skylights and light tubes are strongly discouraged and shall only be permitted on a case by case basis.

## **EXTERIOR DOOR QUALITY**

- Front doorways should be recessed a minimum of twelve (12) inches to demonstrate wall thickness and located under a covered entry.
- Front entry doors should include significant detail and be constructed of custom metal or wood and may include combinations of either with glass.
- In general, entry doors shall compliment the design style of the home.
- Sliding doors are only allowed where reasonably recessed under a covered terrace. Only high quality aluminum sliding doors may be used. Metal or fiberglass exterior doors may be used if screened from view. Custom patterned veneered mechanical room doors must be used if exposed to view.
- Security or screen doors may be used for openings concealed within a private courtyard or similar space recessed under a covered roof.

- Screen doors are not permitted on the primary street facing entry doors.

### **SHADE SCREENS**

- Shade screens, when utilized, must be thoughtfully integrated into the architecture and the following must be considered:
- Retractable Screens must be integrated into the architecture of the home in such a way that the retracting mechanism and rolled up screen are either hidden under a fascia or designed into the header of the window. The intention is that the mechanism not be visible as a boxed out appendage on the side of the home.
- The Screen material must be dark, nearly black, so as to blend away with hue of the windows. Wall color screening should not be used.
- Permanently mounted screens over windows or doors or security shutters must be reviewed by the Committee of Architecture.

### **GARAGES & GARAGE DOORS**

One of the greatest contributors to the negative feelings about residential neighborhoods is a row of garage doors lined up along the Street. As such, the home should be designed with Garages using side or angled entries. Garage doors facing the street will be allowed only when no other solution is practical. Side or angled entry will enable the garage entry to be out of direct view from the street, and overhangs or piers which add softness of shade and shadow by way of recessing the doors should also be considered.

The desired garage door type is a single car wood door without windows. Windows are strongly discouraged to eliminate the spill from interior lighting. All garage doors should be a slightly darker shade than the main color of the home.

Garage Glass doors may be approved in appropriate home styles. All such glass doors must have interior panels that preclude significant light transmission through the doors. If pre-approved, garage doors with glass must be opaque (does not transmit light). The garage must also have motion activated lights sensors that turn interior garage lights off after 10 minutes of inactivity to avoid visibility of garage contents and insure there is no detracting from the dark sky ordinance.

The overuse of fluorescent or other high intensity lighting is not allowed due to the glare and “dark sky” requirements. Where windows occur in garages, or utility doors, they must be equipped with appropriate dark wood blinds or shutter to screen the interior lighting.

Single bay doors are preferred over double-width doors because they present a smaller scale appearance. All garage doors must be recessed a minimum of twelve (12) inches. Where three or more garage bays exist on a house, the apron should be broken up with tree wells or other landscaping between the garage doors. Additionally, with three or more garage bays, they must be separated into different locations or at least one door must be jogged by at least four (4) feet. The Committee may, at its discretion, reject the use of a multi-car garage if it is overly dominant in relation to the site plan and elevations.

The maximum width of a two-car garage apron which fronts the street is eighteen (18) feet. For direct-fronting, three-car garages, some manner of landscaping must divide the apron up. The maximum paved width of a front facing three car garage apron is twenty-seven (27) feet. Where the drive is long enough to



permit doing so, width should be transitioned down to twelve (12) to eighteen (18) feet at the street. Garage doors must be set back a minimum of twenty (20) feet from the back of the curb or sidewalk. Circular drives may be considered if the treatment can be shown to enhance the street scene. Please see Fountain Hills Fire Code for appropriate turn radius

To clarify:

- Carports are not permitted and fully enclosed (two bay minimum) garages will be required on all lots.
- Single garage doors are preferred.
- Garage doors over eight feet (8') in height must reviewed and approved by the Committee of Architecture. To be considered for approval, the design of the home must be aesthetically appealing to the Community and not detract from other home views and will only be allowed if the top of the garage door matches the other doors.
- Wood surfaced or veneered overhead garage doors are encouraged.
- High quality embossed metal doors may be approved on a case by case basis after review for approval by the COA of an ACTUAL sample of the door. Approved manufacturers are on file in the Association office.
- Garage doors shall be recessed a minimum of 12" from the face of the exterior garage plane. Stucco pop outs cannot be utilized to achieve the 12" recess.
- Garage design is critical to site planning. The garage should not be a visually dominant feature of the street view of the home.
- Architectural features must be placed in front of garages that can be seen from the street. These features can be in the form of deep overhangs, or trellis elements as long as they appear as integral elements of the home style.
- Garage doors should be single doors and a maximum of ten (10) feet wide.
- No flush metal panel doors will be allowed.
- The minimum dimension between the adjacent garage door openings is twenty-four(24) inches.
- Surface mounted or recessed lights are not permitted in garage door soffits.

## **DRIVEWAYS AND GUEST PARKING**

- A minimum of two off street guest parking spaces generally not located in front of the primary garage doors or otherwise obstructing the use of the driveway is preferred.
- Driveway materials shall comply with color and materials requirements of Firerock. No smooth concrete, stamped concrete, asphalt, or decomposed granite shall be allowed. All driveway materials and color shall be pre-approved by the Committee of Architecture.
- Private security or decorative gates for driveways are discouraged. The COA may, at its sole discretion, approve private security or decorative gates, but reserves all rights to prohibit such gates. If permitted, the height of such gates and any associated supports or walls shall not exceed 42 inches above the driveway surface when closed and the width of such gates shall not exceed seventeen (17) feet. Gates on steep slope driveways are especially discouraged as the open gate end may be too far off the ground. All ancillary structures, including keypads and operators, must be located within the building envelope and may not be located within any easements, including Public Utility Easements. The gate(s) when open shall not interfere with any public areas such as sidewalks or Community streets.

## **MECHANICAL, UTILITY AND TRASH ENCLOSURES**

All mechanical equipment, including A/C condensers and pool equipment, must be screened from all views. A solid wall matching the material and character of the home and architectural features is required. The top of the wall should be a minimum of twelve (12) inches above the height of all equipment or connective materials. Care should be taken to assess the planned placement of mechanical equipment (including electrical panels, gas valves and meter, water ingress, and landscape transformers) in order to place it in inconspicuous yet accessible locations. Trash enclosures may not be close to the street but instead placed close to the driveway or side garage door access. Trash enclosures should also be a minimum of twelve (12) inches taller than the trash and recycling containers.

1. Enclosure: Electrical service meters and television or telephone communication equipment shall be screened in an unlocked area that is acceptable to the utility company and must meet all utility and Town codes or requirements.
2. Color: All external equipment shall be painted to match the color of the adjacent surface to which it is attached or situated near.
3. Integration: Utility equipment should be integrated into the architecture. For example: rooftop appendages, such as vents, can be purchased in the shape of roof tiles and installed to blend with the rest of the roof.
4. Visibility: All utility equipment, such as gas piping, meters and water valve boxes, shall be screened by landscaping and/or low walls. Trellis elements may be considered to cover the screen walls and further conceal views from higher adjacent properties. Openings in the walls shall be designed per site wall details that match the style of the home.

## **FIREPLACES AND FIRE PITS**

- Wood burning fireplaces or outdoor fire pits are discouraged may only be installed in accordance with Maricopa County and Fountain Hills ordinances.
- Fireplace design should complement the architectural style, materials, and colors of the home. Natural gas is available in the Community and should be utilized.

## **ORNAMENTAL DETAILS**

- All ornamental details will be reviewed based upon the quality, appearance, and design detail of the products proposed.
- Designs should be consistent with the architectural style of the home.
- Creative consistency with the home style should exist with all design: columns, posts, brackets, railings, trim, moldings, entry doors, front door surrounds, transoms, sidelights, any wall or yard art that shall be on the home, or exterior art or sculpture. All referenced items require Committee of Architecture Pre-Approval.
- Decorative elements such as balconies, chimneys, gable vents, exterior lighting, and shutters should appear as functional elements and match the style of the home.
- Ornamental detailing made of genuine wood is discouraged, some may be allowed on a case by case basis.

## **OUTDOOR STAIRS**

All outdoor stairs shall be integrated into the design of the residence. The stairs can be an attractive sculptural element of the design of your home. In no case shall there be exposed steel stair used without a solid enclosing wall. In most cases, solid risers and treads are the most appropriate stair type.

## **POOLS AND SPAS**

Swimming pools must be constructed according to the Town of Fountain Hills ordinances and all other Town, State, or COA applicable regulations, including required pool fence enclosure heights. Doors and gates leading to swimming pools and spas must also meet all applicable Town of Fountain Hills safety and closure regulations, including doors that open directly from the Home to any pool or spa area.

Pool backwash or pool drainage may be disposed of in the sanitary sewer system, into a wash, or other natural drainage area. A drywell or backwash pit is required to allow for disposal of routine pool backwash and draining. All applicable Town regulations governing disposal of pool water must be followed.

Pool and spa equipment must not be visible or excessively loud and audible from any adjacent lot and must be located within enclosed structures or vaults. Please give consideration to noise heard by neighbors during pool design and equipment location conversations.

The color of exposed tile on a negative edge pool must be approved by the COA and is limited to 24" in height. No light or brightly colored tile will be permitted on negative edge pools.

## **ROOF DETAILS**

Roof form is an important part of the visual environment and therefore, they must be carefully designed to minimize their impact on the surrounding community. The design of a home with a balanced combination of flat and sloping roofs can create a dramatic home with appropriate massing and texture.

The COA may, at its sole discretion, reject any design in which it feels the sloped and flat roofs are not integrated in a harmonious way.

Roofs must be designed to be compatible with the southwestern environment. Clay or concrete tiles, concrete shakes, or standing seam oxidized (non-reflective) copper are preferred materials for pitched roofs.

Roof colors will be subject to approval. The color of foam/flat roofs must be consistent with the overall color scheme of the home and must be submitted for approval by the Committee at final review along with the house colors and materials. Flat roof colors should be compatible with color of the home and should not exceed an LRV of 50. The design of the flat roof will be critical if visible from the street. Parapets may be required on flat roofs visible from the street, especially on downhill lots. The color of pitched roofs must be darker than the exterior color of the home and approved by the COA during the final submittal and material board reviews.

Horizontal rooflines need to be articulated into several elevations.

### **Additional Roof Design Requirements**

- 1.** Simple massing consistent with the home style is required. Roofs shall be configured in separate individual basic roof shapes based on the home configuration to which they are covering. A variety of roof breaks (roofs that turn a corner or change elevation) shall be provided when appropriate.
- 2.** Roof forms that are composed of a continuous series of interconnected hip roof transitions shall be avoided, especially if not in a rectilinear alignment to one another.
- 3.** Roof pitches and overhangs should be appropriate for the selected home style. Generally they should not be less than a 3/12 slope or exceed a slope of 5/12.
- 4.** Overhanging eaves may have exposed rafter tails, four (4) inches nominal minimum width for rafter tail thickness. Exposed eaves shall be finished with a cornice molding.
- 5.** All flashing, sheet metal, vent stacks, and pipes shall be copper or painted to match the adjacent roof or building.
- 6.** Roofs with M-shaped profiles are not permitted. These profiles are created when parallel ridges share a common valley.
- 7.** Flat roofs that are incorporated as a solution to poorly designed massing are not allowed.
- 8.** Exterior walls shall offset vertically or horizontally so that the eave of one roof does not intersect the rake of another.
- 9.** Mansard roofs are prohibited; however, the COA may approve partial gable or shed roofs on a case by case basis.
- 10.** The COA strongly recommends that sloping roofs be designed as sheltering and shading elements with broad overhangs and strong shadow lines.
- 11.** Thin edges or thin fascia should be avoided on sloping roofs, as should sloping roofs with minimal or no overhangs.
- 12.** Flat roofs should be surrounded by parapets a minimum of eighteen (18) inches above the adjacent roof surface.
- 13.** Parapets must be designed as three-dimensional mass forms and the parapets must wrap the entire building mass or return and end in an intersection with another building mass.
- 14.** Parapet height must visually screen all roof penetrations (e.g. plumbing vents, etc.)
- 15.** Roof or wall mounted mechanical equipment is prohibited
- 16.** The finish of metal roofs must be matte with a maximum gloss value of 10%, highly reflective roof surfaces are prohibited. Dominant metal roof colors are prohibited. All roof colors will be conditionally approved during the submittal process and final approval will be granted after reviewing the on site material wall mock up.
- 17.** Flat roof material color and associated flashing should match the color of the building.
- 18.** The color of the inside of the parapets should be the same across the entire vertical surface (i.e. paint the flashing and vertical roof material to match the parapet wall).
- 19.** It is not the intent of the COA to limit choices of roof materials, patterns, or colors but these must integrate well with the home and the Community. The COA, in it's sole discretion may disapprove any material or color scheme submitted.
- 20.** Non-factory painted metal roofs and roof scuppers will not be approved. All metal roofs, roof flashing and scuppers must be factory painted. Site painting of galvanized metal will not be approved. The COA recommends a minimum metal roof warranty of 20 plus years for chipping, fading and peeling.

The following roof forms are NOT permitted:

- Roofs having double slopes where the lower slopes are steeper than the higher slope, such as mansard roofs.
- Modified hip roof (a roof having a hipped end truncating a gable roof).
- Any oddly-configured roof that is trying to resolve a poorly-composed floor plan configuration.

## **ROOF TERRACES AND VIEWING AREAS**

Roof terraces or viewing areas that are the uppermost area of the structure are not allowed. Any desired upper-level outdoor viewing or sitting areas shall be designed as well-integrated terraces or balconies, and as extensions of the upper level livable areas of the home.

## **ROOF VENTILATION**

Dormer roof vents are not allowed. Ridge vents, gable end vents and soffit vents are preferred methods of providing any required roof ventilation.

## **ROOF ELEMENTS**

### **Mechanical Appurtenances**

No mechanical apparatus or device (air conditioning/heating units, etc.) shall be mounted on any exterior wall or attached to any roof. Air conditioning units must be ground mounted behind a masonry and stucco covered screen wall that is a minimum of 12 inches above the highest element which includes any connections to the home and unit. The wall shall be constructed of the same material, finish, and color as the house. These features should not be visible from the street, neighbors where possible, golf course or other primary views, i.e. open space.

### **Vents and Stack Pipes**

Stack pipes, mechanical vents, and all roof penetration piping should be aggregated where possible inside a Chimney stack. All piping not inside a chimney stack should be limited in number and painted to blend with the roof color. To the greatest extent possible, pipes should be clustered and located on the rear side of the roof, or as discreet of location as possible. False chimneys may be considered for concealing gas vents or as decorative elements and shall appear consistent with other chimneys on the home. While meeting all applicable building codes, gas vents should be concealed where possible from view or concealed in a false chimney designed consistent with material and detail of other chimneys on the home.

### **Solar Panels**

Roof mounted solar panel equipment and supporting structure must be hidden from view. Panels must be an integral part of the roof design and mounted directly to the roof plane or concealed behind a parapet. Roof mounted hot water storage systems shall not be visible from neighboring property or community open space. All exposed conduit and/or equipment shall be painted to match the exterior color of the home. Solar retrofits, if ground mounted, must be properly screened.

### **Satellite Dishes**

Satellite dishes of greater than three feet in diameter shall be prohibited unless otherwise approved by the Firerock Country Club Committee of Architecture. All dishes should utilize appropriate screening techniques, be mounted and landscaped to blend with the home. Dishes should be sited so as not to be visible from neighbors view, public rights of way, and community/natural open space with the dish portion painted to further disguise the dish.

## **Antennae**

All Antennae, whether television, amateur radio, wireless devices, or other, are discouraged. Installation of antennae's or exterior mounted devices shall be submitted to the Firerock Country Club Committee of Architecture for approval by the COA prior to installation.

## **SCUPPERS, GUTTERS, AND DOWNSPOUTS**

- Internal roof drains are strongly encouraged as they are then hidden from view.
- Gutters and downspouts, if desired, shall be integrated into the design of the home and appear as a continuous architectural element.
- Drainage solutions shall be unobtrusive to the overall building
- Downspouts shall be located on vertical surfaces in inconspicuous locations, preferably in interior corners of the structure.
- Gutters shall be composed of copper, or factory finish aluminum and integrated thoroughly with the fascia design.
- No pre-fabricated gutter sections shall be allowed..
- Scuppers are permitted only if they are an integral part of the design. Simple sheet metal scuppers are not allowed. All scuppers must be integrated in a more creative way.

## **CHIMNEYS**

Chimneys shall be designed to be in scale and proportioned with the architecture of the building. Chimney tops shall incorporate materials consistent with the detailing of the principal elevations of the home. Open screen spark arrestors are not allowed in favor of spark arrestors with custom metal shrouds.

- The maximum height for chimney terminations is two (2) feet above a point on the closest roof within ten (10) feet horizontal from the chimney termination, unless otherwise required by current Town of Fountain Hills fire department code.
- Exterior chimneys shall generally be constructed of masonry or stone, and finished in stone, brick masonry, or stucco matching the style, detailing, color, and materials of the home.
- All chimney tops require a custom shroud that screens the factory termination. This shroud must be consistent with the home style and included in the final design submittal for review and approval.
- Chimneys shall generally be proportioned to not exceed fifteen (15) square feet in area.
- False chimneys may be considered for concealing gas vents or as decorative elements and shall appear consistent with other chimneys on the home.
- Chimneys shall be designed as an additive visual element to the overall design of the home rather than an unnecessary visual detractor.

## **SITE WALLS AND FENCE DETAILS**

All fill slopes are to be retained by a wall that is textured and painted to match the house. Some natural site stone boulder walls may be incorporated on the site with a maximum height of three (3) feet in height. Site stone boulder walls may also be used in retaining as transition from CMU walls to landscaping with Committee of Architecture prior approval.

Any terraced retaining walls must be separated by a distance no less than the height of the tallest wall and be landscaped with the design reviewed by the Committee of Architecture. Whenever desired for view

purposes, decorative metal view fences must be submitted to the COA for review. Decorative metal view fences pool enclosures shall consist of an open steel (wrought iron) fence that meets or exceeds any Town of Fountain Hills requirements and is reviewed by the Committee of Architecture.

The height and average height of a retaining wall, or straight-line or circular sections of a meandering wall, shall not exceed the following:

- If the average slope at the wall location is 0-15%, the Maximum Wall height cannot exceed 8'0" with an Average Wall Height of no more than 6'0".
- If the average slope at the wall location is more than 15%, the Maximum Wall Height cannot exceed 9'0" with an Average Wall Height of no more than 7'0".

### **General Site walls and Fence design considerations:**

Wall and fence material shall match and complement the character, style, and color of the home's architecture unless specifically approved as an accent base.

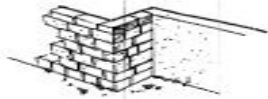
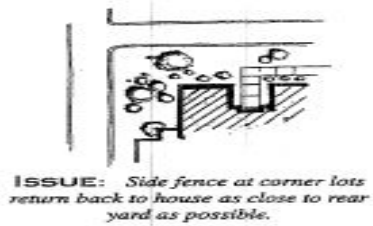
- Complimentary ornamental iron or appropriate materials should be used with gates to add to the quality of building elevation and visual openness. These features shall be appropriate scale for custom homes of Firerock values and not "production" home like.
- Pre-manufactured walls and materials are not acceptable
- Thickened edges of exposed wall ends are typically required
- Generally, walls should avoid excessive stepping in the top profile
- Individual wall components with differing heights shall interlock and overlap each other
- Generally, the top of the wall remains constant in height for each component
- Walls shall not block or alter natural and proposed drainage
- No property line perimeter site walls shall be allowed
- Solid walls are prohibited along natural open space.
- Privacy walls must not exceed 6'0" tall at any point and shall, whenever possible, consist of ½ solid and ½ open steel (wrought iron) picket style view fence.
- Walls should not follow the envelope line and shall incorporate the architectural lines of the residence.
- Pool security fencing must meet the Town of Fountain Hills requirements.
- All walls and fencing must receive prior to installation Committee of Architecture approval.
- All site walls must be a minimum width of 8" and conform to the Town of Fountain Hills reinforcement standards.
- It is most desirable when low patio walls define the edge between the Private Zone and the Natural Area.
- More than two (2) retaining walls in any area are discouraged.

### Service/storage yard walls

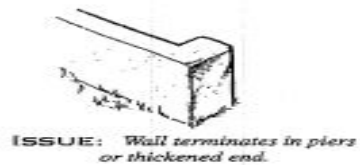
Service yard walls and low patio walls must be constructed of the same material as the home and finished with the same materials, textures and colors as the house.

All retaining, screen, and site walls must be finished to match the home on all sides including the view from the golf course.

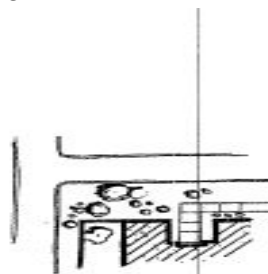
### WALL TERMINATION SUGGESTION ILLUSTRATIONS



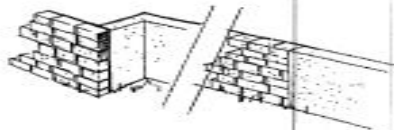
**ISSUE:** *Materials change at inside corner*



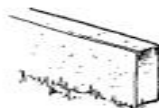
**ISSUE:** *Wall terminates in piers or thickened end.*



**UNACCEPTABLE:** *Side fence too prominent at corner.*



**UNACCEPTABLE:** *Changes at outside corner or in the plane of the wall.*



**UNACCEPTABLE:** *Exposed thin end appears weak.*



All retaining walls shall be protected from water seepage and stucco bubbling and flaking by utilizing the following suggested method **or an equivalent waterproofing procedure:**

## **foundation waterproofing note:**

PROVIDE "WATCHDOG WATERPROOFING" BY TREMCO BARRIER SOLUTIONS (ICC ESLR-22-13) OVER ALL ENCLOSED RETAINING, HIGH STEM, AND BASEMENT WALLS BELOW GRADE (2012 IRC SECTION R406)

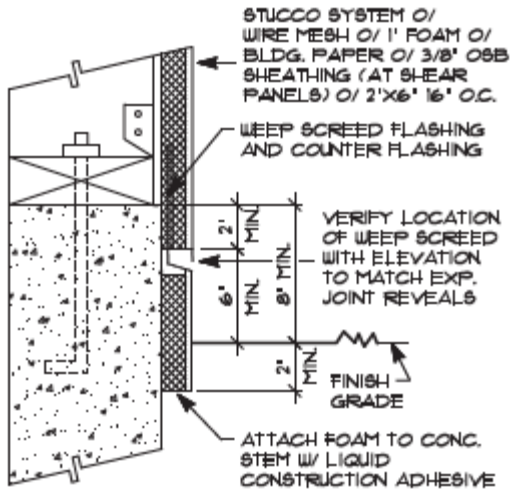
A HIGH DENSITY (R-5) BACKFILL BOARD SHALL BE USED TO PROTECT THE WATERPROOF MEMBRANE AND DRAIN TO THE REQUIRED DRAIN TILE.

### **Multiple, Stacked Retaining Walls and Exposed Stem Walls:**

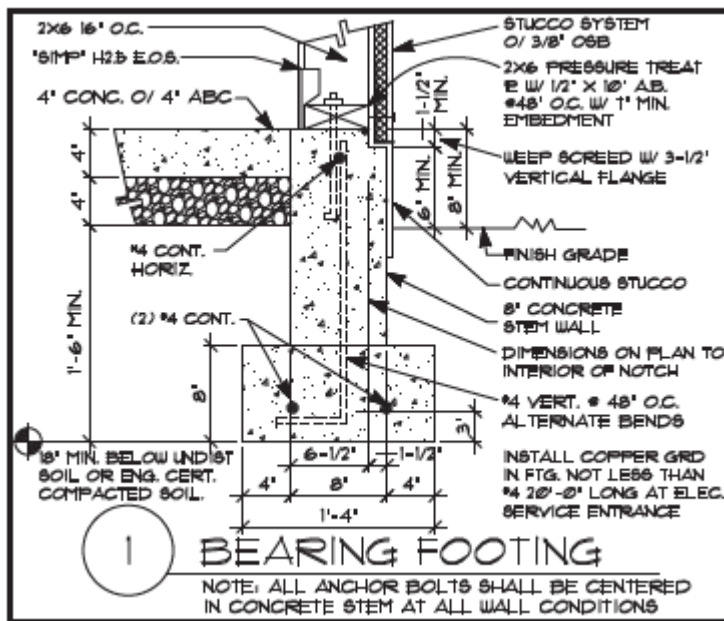
All terraced retaining walls must be separated by a distance no less than the height of the tallest wall, and be landscaped in between. Open fences for guardrail or pool enclosures or site retaining walls shall consist of an open steel (wrought iron) fence above the retaining portion of the wall; maximum 60" in height. Per Town of Fountain Hills regulations, fencing may be eliminated with a minimum width planting bed per current Town of Fountain Hills codes. Town of Fountain Hills Building Codes and Zoning Ordinances must be followed. All retaining site walls must be pre-approved by the Committee of Architecture. Walls may be linear or stepped with the grade. The Committee of Architecture may require that large expanses of retaining walls be broken up by architectural elements or the application of natural stone or other acceptable materials.

### **STEM WALL APPLICATION**

Homes shall be built using stem wall concepts or methods similar to the below suggestion in order to achieve a flush finish look to below adjacent finish grade. Weep screed application must meet the Town of Fountain Hills and International Residential Code (IRC) Codes.



## WEEP SCREED



## WATER FEATURES AND FOUNTAINS

All water features shall remain discreet and not overwhelm the landscape or adjacent structures in scale or proportion. All such features require prior approval by the COA.

Water features and fountain equipment must not be visible or audible from adjacent lot or home and must be located within enclosed structures.

Materials and color should complement the architectural style of the home

**Additional considerations for the Home Owner/Builder that are recommended for consideration but NOT required of the Owner:**

1. Termite Control: Perimeter piping to allow for termite extermination flushing for the home.
2. Pool water heating: Passive flat roof black pool water heating may be allowed if designed properly.

## **LANDSCAPE DESIGN**

The goal of these landscape guidelines is to ensure that developed areas within the community of Firerock harmonize and blend with, rather than dominate, the natural environment. This sensitive approach to landscaping will help protect and preserve the wildlife and flora that contribute to the unique experience of living within a desert environment.

The indigenous landscape palette is abundant in regard to the number of species and the variety of unusual forms it has to offer. Native trees provide shade and appropriate scale to the built environment. Native cacti, yucca and agave provide sculptural elements and interesting texture to a landscape. Native shrubs not only provide screening and stabilization of the desert floor, but provide cover for birds and other wildlife. An added benefit is lower maintenance, as these plant materials are already adapted to the dry desert climate.

The natural landscape in many areas is sparse when compared to other portions of the Firerock site. Therefore care must be taken on these sparsely vegetated lots so as not to over-landscape around the homes. This would result in the appearance of an "oasis" on the side of the slopes that would look unnatural and out of character with the natural environment. The density of the landscape on these highly visible home sites should transition from the house to the Natural Zone in patterns that are typically formed by the native plants.

The existing vegetation located on this site, is predominately characterized by two micro-climatic vegetation groups: wash corridor vegetation and upper elevation vegetation. Vegetation typically exhibits higher densities with more variation within wash corridor areas than on the upper slopes allowing flexibility in species selection. Mesquite, Cat claw, Acacia, Ironwood, Bursage and Native grasses are found in larger concentrations within the washes while Palo Verde, Mormon Tea, Brittlebush and Jojoba are found on upper slopes. Like the architecture of each residence, the landscape should be tailored to fit the unique features found on each lot. Transitional zone defined landscaping may vary from lot to lot in regard to palette and plant densities in order to respond more specifically to the microclimate of the area. A good method for developing an appropriate landscape palette within Transitional Zones is to record the types and density of the existing vegetation prior to disturbance of the lot.

## Re-Vegetation of Home sites

The Committee also requires a re-vegetation plan for all disturbed areas which abut natural desert vegetation. The requirements for plant materials are outlined in the Appendix. The Firerock Committee of Architecture requirements will generally take precedence over Town requirements on planting densities.

The goal and intent of re-vegetation is to restore any areas disturbed by construction or grading to a natural appearance such that the maturity of the re-vegetation, the area matches the adjacent natural desert and appears as though it was never disturbed. Re-vegetation is required for all areas that are disturbed by grading or construction, or any disturbed area not enclosed by the building or site walls.

Re-vegetation includes the combined use of trees, cacti, ground cover, and seed, all of which are necessary to achieve the desired results. Re-vegetation plant material shall be planted in a density and arrangement that is similar to the adjacent undisturbed natural areas. This re-vegetation landscaping must include only indigenous species specifically identified on the Approved Plant Listing.

The desert ground cover (bushes and shrubs) must be re-vegetated using a minimum of fifty (50) one-gallon or larger plants per one thousand (1,000) square feet. This minimum number of one gallon or larger plants used for re-vegetating the ground cover should be placed in a natural pattern, and not in a formal or geometric pattern. As exists in nature, the species of plant material used for re-vegetating the ground cover should consist of a minimum of 75% of the plants as the primary ground cover species and the remaining 25% or less as miscellaneous shrubs, bushes, and cacti that are indigenous plants and on the Approved Plant List.

While indigenous plants and many of the arid-region plant materials can survive on little or no supplemental water, irrigation during the establishment period is critical and required. Temporary irrigation systems must be designed to eliminate runoff into the adjacent natural or undisturbed areas. Irrigation within other natural areas that were not disturbed is not allowed, except with specific approval granted by the COA.

The landscape should be considered an integral part of the architecture and should be a factor in the initial site planning process. The Natural Zone surrounding each building site provides an instant "mature" landscape setting. Siting of interior spaces should take into consideration this protected landscape when orienting and framing views. Likewise, the addition and placement of landscape materials used to restore the Transitional Zone and to enhance the Private Zones should be carefully considered. Plants provide another dimension to the architecture and are useful for augmenting and/or solving architectural or harsh environmental conditions. Trees can enhance a view by creating a soft framework for viewing. Trees and plants can mitigate extreme climatic conditions. Deciduous trees placed beyond a south or west-facing wall will provide shade and natural cooling in the summer and will allow the sun to penetrate the structure in the winter

More information is available on native desert plants through several knowledgeable sources in the area, including the Desert Botanical Garden and the Arizona Municipal Water Users Association. Contacting a landscape architect or designer with knowledge of native plants is also encouraged

The Approved Plant Palette in these Guidelines includes an extensive list of indigenous and arid-region plant materials suitable for use within Firerock. Use of indigenous species should not be limited to

Transitional Zones, but should also be considered for use within the Private Zones... The Committee may approve plant material that is not listed on the approved plant palette, provided they are not on the prohibited list and are specifically approved by the Committee of Architecture.

Proposed landscape-planting materials not on the Approved Plant List must be identified on the landscape drawings as such, and the submittal must include a photograph and description of the plant for which approval is being requested. The Committee reserves the right to refuse any plant material it feels will not be beneficial to the environment of Firerock

In the event of any violation of the Landscaping Section of these Guidelines, the Committee of Architecture or the Association may cause the lot, or home site if modified later, to be restored to its state existing immediately prior to such violation; or, in the event of any violation of these Guidelines, cause to be replaced any Protected Native Plant which has been improperly removed or destroyed with either a similar plant in type and size or with such other plant as the Committee may deem appropriate. The Owner of such lot or home shall reimburse the Committee and the Association for all expenses incurred by them under this paragraph; provided, however, that, with respect to the replacement of any plant, the Owner shall not be obligated to pay an amount in excess of the expenses which would have been incurred by the Committee or the Association had they elected themselves to replace the damaged, destroyed or removed Protected Native Plant with a plant similar in type and size. In addition, certain fines might be imposed by the Town of Fountain Hills pursuant to their adopted Native Plant Ordinance. The Committee shall have the right to require complete or partial landscape restoration of all disturbed areas.

## **LANDSCAPE PLANTING ZONES**

Each lot consists of three landscape zones that must be shown on the submittal, the Transition Zone, Private Zone and Natural Zone as illustrated by the graphic on the following page. Any disturbed natural areas must be landscaped according to plans submitted at the time of formal submittal. Landscaping for these areas must be completed within sixty (60) days of substantial completion of the residence.

"Transition Zone" - This is the transitional, semi-public portion of the lot consisting of the front, rear and sides of the lot visible from the street and the golf course. It is intended that the Transition Zone have a "semi-manicured, landscaped desert" character using indigenous and/or desert-adapted plant materials. Plants must be either existing vegetation or on the "Approved List." No grass areas will be allowed in the Transition Zone or front setback areas.

A "cleaned up" natural look is the desired landscape theme for Firerock Country Club lots. Upon Committee of Architecture approval, parts of the Transition Zone may be "dressed" with decomposed granite that blends with the existing soil color. Red granite, white rock, dark colored lava rock or two-tone rock is not permitted. While "natural" rock is encouraged, a limited amount of natural rock may be used in drainage courses. Only in very difficult slope stabilization circumstances may medium size "natural" rock (rip rap) be used to cover embankments; if it is allowed, it must be heavily planted so that vegetation will grow to cover much of the rock. The color of the decomposed granite and the natural rock must be submitted to the Committee of Architecture. Decomposed granite colors that are compatible with the Firerock soil include Santa Fe Gold, Santa Fe Red and Apache Brown.

"Private Zone" - is in close proximity to the house itself or the entry and is defined by a wall. The Private Zone is the only portion of the lot where bedding flowers, grass, ornamental shrubs, semi-tropical plants or other plants will be allowed if they are not on the "Approved List". These non-approved plants shall not be visible from outside of the Private Zone.

"Natural Zone" - a passive zone to the front, rear or sides of the house, outside of the Transition Zone. This is to be left in its natural desert condition. Natural Area that is disturbed by the installation of utility laterals must be restored and revegetated by the owner.

It is recommended that a lot maximize the 'natural' area it contains and that any areas needing to be revegetated always consider native materials first, that best integrate with the existing site. In order to maximize the use of existing landscape materials and minimize future costs, it is required that the following native plants of good health disturbed by construction be salvaged:

### Protected Native Trees

<b>Botanical Name</b>	<b>Common Name</b>
Cercidium floridum	Blue Foothill Palo Verde
Cericidium microphyllum	Native Ironwood
Prosopis velutina	Native Mesquite

### Protected Cacti

Carnegia gigantean	Saguaro
Ferrocactus species	Barrel Cactus
Fouquieria Splendens	Ocotilo
Yucca Species	

Cacti of other species are recommended to be salvaged and relocated on site but not required.

All specimen quality plants that will be disturbed by development are to be salvaged and relocated on Site or replaced with alternate plant material of similar type and size if the salvage attempt fails.

## **MATURE TREES**

In an effort to minimize the visual impact of the residence and other improvements and to improve the integration of the home into the slopes at the base of the adjacent mountains, a minimum of five (5) mature trees, which may include any existing trees within the lot which were not disturbed, will be required within all lots in Firerock. These mature trees shall be of a species native to the site and shall be a minimum of twelve (12) feet in height with a minimum canopy of ten (10) feet in diameter at the time of initial installation (or at the time of commencement of construction for those qualifying trees which are existing). Any additional mature trees needed to fulfill the requirements of this section shall be generally placed within forty (40) feet of the residence and within the Building Envelope.

## **APPROVED PLANT LIST**

The Committee of Architecture recommends that all plant material used by those named on the APPROVED PLANT LIST – **EXHIBIT A**. Because it is difficult to name every acceptable plant material available, the reviewing body will consider request for plant materials not listed, provided such plant materials are not on the list of prohibited plants in these design guidelines.

The COA or its consultant reserves the right to refuse any plant material it believes will not be beneficial to the environment of Firerock Community Association. Plants noted on the APPROVED PLANT LIST are tolerant of both hot and cold temperatures, some may thrive in the desert soil conditions and others may have special characteristics that make them ideal for the southwest desert climate. Owners shall review the use and placement of all plants with a knowledgeable professional or consult appropriate reference material.

Refer to the Arizona Nursery Association (ANA) Container Grown Tree Guide and Market Update for acceptable sizes of plant material. Available at [www.azna.org](http://www.azna.org).

Landscape Plants for the Arizona Desert available at [www.amwua.org](http://www.amwua.org)

## **PROHIBITED PLANT LIST**

The following may not be planted or maintained within any Transition or Natural zone within in the Firerock Community:

Any species of tree or shrub whose mature height may reasonably be expected to exceed twenty (20) feet with the exception of those species specifically listed as approved by the Committee. **All Palms** (Palmae) whose mature height may reasonably be expected to exceed 6 feet will be prohibited for aesthetic reasons as well as their high maintenance requirements. Dwarf varieties whose mature height may reasonably be expected to be less than six (6) feet will be allowed only in Private Zones within the confines of a private garden and behind site

walls.

All Pines (Pinus), Cypress (Cupressus), False Cypress (Chamaecyparis), Juniper or Cedar (Juniperus) except those species specifically approved, whose mature height may reasonably be expected to exceed six (6) feet will be prohibited for aesthetic reasons. Dwarf varieties, and those whose mature height may reasonably be expected to be less than six (6) feet, may be used immediately adjacent to the entry to residence, or in Private Zone within the confines of a private garden and behind site walls.

Olive trees (Olea Europaea) will be prohibited for reasons of their profuse production of allergy-producing pollen, as well as for aesthetic reasons.

Oleanders (Nerium Oleander) and Thevetia (Thevetia Species), will be prohibited for aesthetic reasons well as for their profuse production of allergy-producing pollen. These poisonous plants will also be prohibited for their high maintenance requirements and excessive height. Dwarf varieties may be allowed Private Zones within a private garden and behind site walls.

Fountain Grass (Pennisetum Setaceum) will be prohibited as a defined weed with the potential to spread throughout the development and also is a fire hazard.

All varieties of Citrus will be prohibited for aesthetic reasons and for their profus & production of allergy producing pollen. Dwarf varieties are permissible in Private Zones within the confines of a private patio and behind sitewalls.

Common Bermuda Grass (Cynodon Dactylon) will be prohibited as a defined weed.

Mexican Palo Verde (Parkinsonia Aculeatra) will be prohibited as a harbinger of pests and because of ability to spread throughout the development, thereby altering the existing natural desert.

Desert Broom (Buccharis Sarothroides) plants are prohibits as a defined weed with potential to spread throughout the development.



## **SUBMITTAL REQUIREMENTS, VALIDATIONS, AND APPROVAL PROCEDURES FOR NEW CONSTRUCTION:**

### **GENERAL**

The Design Review and Building Process at Firerock consist of seven (7) required steps, amended to conform to changes in state statute, adopted in 2012. For more information, please call the Community Manager at 480-836-4323 to obtain an application and information package.

NOTE: These are requirements of the Firerock Committee of Architecture (COA) only. They do not replace the regulations, building codes, design criteria, ordinances and/or submittal and review procedures required by the Town of Fountain Hills for purposes of obtaining structural reviews, building permits and certificates of occupancy. However, in some aspects, the Firerock regulations may be more or even less restrictive than the Town's. In that event, the more restrictive shall rule. Lot Owners and their designers, architects, builders, and consultants, are expected to review and understand the requirements of the Town of Fountain Hills in addition to those below, as required by the COA. Lot Owners, Architects, Builder or Design Consultants are encouraged to attend the COA meetings and participate in this important process. Ultimately, the lot owner shall be liable for compliance and any corrective fines, fees, or costs associated with correcting non-compliant features. These costs shall be borne by the owner and the owner will pay these amounts.

### **PRE-DESIGN CONFERENCE**

The Owner and or his Architect/Designer are required to meet with representatives of the COA to discuss the design review process and the overall design direction and intent for the project. A signature acknowledging receipt of the updated Guidelines and Processes will be required. Any issues that arise during this meeting shall be compiled and provided the Lot Owner.

Design sketches are not required, as no review of specific designs will be conducted at this meeting. Applicant must provide copies of the existing site maps (including a topographical survey by a registered surveyor) as well as the Building Envelope Exhibit. Please contact the Community Manager at 480-836-4323 to schedule the Pre-Design meeting.

All residences within Firerock Country Club Community Association shall be designed by Arizona licensed Architects or Residential Designers. Only submittals of professional quality standards will be accepted by the COA for review. If a preliminary submittal received does not meet professional-quality standards (as determined in the sole discretion of the Committee of Architecture), then the COA will require that the Owner retain a qualified and licensed Architect or Residential Designer and to resubmit. All necessary and required engineering approvals and permits are the responsibility of the home owner.

## **CONCEPTUAL DESIGN MEETING**

The COA fee includes up to two (2) conceptual design meetings to discuss initial design programming and character of the residence. The design professional must attend these meetings. It is strongly encouraged that the Owner and Contractor also attend. The materials for this meeting should be very preliminary in nature. Depending on how the designer chooses to communicate, the sketches can be a simple diagram or sketched plans (to scale) overlaid on the topography, general finished floor elevations, a rudimentary site section perpendicular to the slope to understand the scope of cut/fill and how the home is responding to the topography. An elevation of the front or back, which calls out general maximum heights and their relation to the street and neighboring properties are encouraged. The drawings should be working sketch or copies, showing enough detail that the design intent is clear. Concept Reviews may be scheduled through the Community Manager.

## **PRELIMINARY SUBMITTAL**

Preliminary submittals must be made at least fourteen (14) days prior to the regularly scheduled meetings. Incomplete submittals will not be reviewed and will be returned to the applicant. A Non-refundable, **Design Review Fee of \$7,500**, payable by check made out to the "Firerock Community Association." Note that Owners whose plans require more than four reviews (Preliminaries and Finals in any combination) to obtain Final Approval of plans, must pay a non-refundable fee of \$1,000 for each additional review. A check for the additional review fee must accompany the submittal in order for the plans to be reviewed.

Applications for Preliminary Plan Review must contain all information found on **EXHIBIT B**.

All Preliminary Design Submittals must include the roof plan of the home and the plan of all site improvements superimposed over the existing topography. This drawing shall indicate:

1. All parapet and roof ridge heights and any changes in elevation of the parapet and roof ridge heights.
2. Top of wall heights of site walls or retaining walls
3. A bold outline of each building mass in plan
4. Existing pre-construction topography from a licensed survey with clearly designated two foot contour intervals; contour lines must be legible beneath the footprint of the home or other improvements.
5. Area calculations, in square feet, identifying the area of the building footprint at or below the lower mass height limit and the area of the building footprint above the lower mass height limit. For submittal, these areas should be shaded or color-coded to designate each height category.

NOTE: After receipt of a Preliminary Submittal, a Design Review Notice will be posted on the Lot, notifying neighbors that plans have been received for review. All owners of property within 500 feet of the subject Lot will be informed by electronic mail or USPS mail that the Lot has entered design review.

Plans that do not receive Preliminary Approval on first review must be resubmitted as a separate and complete review package.

Preliminary approvals for any project for which the Association holds an Owner's Compliance Deposit (formerly known as a Builder Bond or Deposit) will be valid for a period of twelve months, after which time period the approval shall be withdrawn and the review process, if undertaken, must be restarted as if new.

## **FINAL SUBMITTAL**

All submittals will be reviewed by the Firerock Country Club COA and will be approved or the Committee will request a resubmittal addressing Committee comments . Construction activity or Lot disturbance of any kind including placement of a construction fence may not begin until the design review submittal has been approved.

Should the Owner's Compliance Deposit (formerly known as a Builder Bond or Deposit) be refunded to its owner on request prior to commencement of a project, the plan approval shall immediately be withdrawn, and the review process, if undertaken later, must be started as if new and subject to the then-current, non-refundable design review fees and refundable Owner's Compliance Deposit (formerly known as the Builder Bond or Deposit) amount.

Approval of the Final Submittal shall be considered valid for 12 months from the date of that Approval. The Final Approval will then be considered abandoned if the Construction Certificate has not been obtained and the Builder's Deposit received in that period. The Owner will be required to again start the Design Review process beginning with the Pre-Design meeting, application, Preliminary Review Submittals and a new Design Review Fee.

- A. Completed **Final Review Application Form**
- B. Two (2) hardcopy set of the **proposed Final Plans**, edge bound and with the same information requirements as for Preliminary Review..
- C. One (1) copy of the **proposed Final Plans on a flash drive or CD**, for storage purposes.
- D. One **11"x17" paper reduction** of the site plan and all four elevations.
- E. 3-D graphic in "*Quick Time*" (or a pre-approved by the COA format) and manipulative model of home set on lot with local topography and the street shall be included.
- F. **Samples, cut sheets and/or brochure photographs** of all exterior elements including light fixtures, decorative metal work or fencing, fountains, garage doors, window frames, stone, mounted on foam-core board with a maximum size of 11"x17".
- G. Exterior Color(s): For all items, including pavers, stone specify manufacturer, color, style, name and model number, LRV for paint colors and stucco finishes. NOTE: Only conditional approval of colors and materials can be provided at this stage, as ***Final Approval of colors and materials occurs after the field observation of the material wall.***
- H. A complete **Landscape/Hardscape Plan** showing the contours, Grading, proposed lighting, areas of planting, trees, shrubs and groundcovers, plant list with sizes and quantities, salvage material

incorporation, irrigation method, transition areas, water features, patios, pools, and any feature elements. Include color and material specifications for hardscape areas, pools and pool spillways. A complete landscape plan set must include exterior lighting plans with specified fixture types, bulb wattages and light color, fixture color and finish. NOTE: Pool configurations must be finalized at this stage and reflected accurately on the civil site plan and landscape plan. During the review, special attention will be paid to materials planned for pool spillways and negative edge finish.

- I. **Construction Schedule**
- J. **Lot/Builder Identification Signage**

## **REQUIRED MEETINGS AND SITE INSPECTIONS**

Refundable **Owner's Compliance Deposit** (formerly known as the "Builder Deposit") of \$20,000 payable by check to Firerock Community Association. This is required at the Pre-Construction Meeting. The Deposit, without interest earned, will be refunded after a successful Final Inspection of the completed project, when the as-approved plans and materials will be compared with the as-built project. Unapproved deviations from the HOA-Approved Plans may be cause for retention of all or a part of the Compliance Deposit at the sole discretion of the COA. Any extraordinary out of pocket expenses utilized to determine unapproved modifications or required additional changes, including any consultant or legal expenses deemed necessary shall be deducted from the deposit. *Any Construction violations that are not corrected in a timely manner are subject to immediate fine and may be deducted from the compliance deposit.*

**Signed Release** confirming the Deposit Owner's understanding of the terms for the release of the Compliance Deposit and providing a waiver of rights under A.R.S. 33-1817. It shall be the Owner's responsibility to maintain the proper mailing address with the Community Manager while Owner's Compliance Deposit is on deposit with Firerock. The waiver allows the Association to retain the Deposit in the unlikely event that the Deposit Owner proves untraceable, or abandons or fails to claim the Deposit within 90 days of the Approved Letter of Compliance.

### **Pre-Construction Meeting**

Prior to start of construction and after Final Plan Approval, contact the Association office to arrange a Pre-Construction Meeting with the Community Manager and/or Reviewing Architect. **The Builder and Owner must sign a statement that the Town-Approved Plans are consistent with the Firerock Final Approved plan set. The Association requires one CD of a Stamped copy of the approved permitted drawings and the building permit along with a 11" x17" copy of the approved drawings and permit. Compliance with construction site management regulations as outlined in the Design Guidelines will be confirmed at the meeting. Builders must submit a list of subcontractors and suppliers who will need access through the front gate for the project.** When all information has been submitted and compliance with the construction regulations has been confirmed, a **"Construction Authorization Certificate" will be issued.** No construction may begin prior to issuance of the Construction Authorization Certificate.

A review of Community construction site guidelines will also be accomplished: Parking shall be on one side of the street only, trash requirements, Port-a-John color, no obstruction of sidewalks, and the

liability requirements assumed by the Owner/builder to Community roads, sidewalks, and other property.

### **On-site Progress Observation #1 – Rough Framing and Colors & Materials**

At least ten (10) days prior to the requested date, please call the Community Manager to schedule an On-Site Progress Observation visit. The Observation will compare as-built framing to the elevations shown in the Final Approved Plans and review the window recess detail, stem wall detail, and the on site material and color mock up wall.

Site Wall Requirement: An eight (8) foot sample wall shall be constructed on site and shall include actual materials for: roof, windows, siding/stucco color, stone application, etc. These finishes may be applied to a wall of the home **at your own risk**. Final approval on materials will not be granted until the material wall has been approved on site by the COA or its representative.

The COA reserves the right to require changes, should the framing observation indicate departures from the Approved Plans and/or if chosen materials or colors do not meet the objectives of the Design Guidelines when viewed on-site, or if color or on-site quality does not match the original review exhibit. Failure to notice any departures from Approved Plans or conditions in violation of the Design Guidelines at this state of the construction does not imply HOA approval of said departures or conditions, if discovered later. **The applicant will be responsible for calling for an on-site review of framing and the color and materials. The owner and/or the owner’s representative are welcome to attend the on-site visit.**

**There may random site observations by the COA or Association representatives during the course of construction. The Owner acknowledges that the building site shall be made available to the COA during construction and thru Final Approval.**

### **Post Construction On-Site Observation– Final Inspection**

Within forty-five (45) days following project completion (Certification of Occupancy), the Owner must provide the COA with a “Notice of Completion” including a Certificate of Finished Floor Elevation and Building Height, signed and sealed by a land surveyor or civil engineer. A Final Inspection for compliance with Approved Plan will be scheduled and the Owner and/or the Owner’s representatives are welcome to attend.

*As part of the final construction inspection, the landscape plan will also be checked for compliance. This will be a separate inspection by an authorized landscape consultant. Once the home is constructed, the COA may require Additional landscape to screen walls, mechanical equipment or utilities.*

A successful Final Inspection will result in a Letter of Compliance to the Owner and the release of the Owner’ Compliance Deposit along with any interest accrued (subject to the provision below). Unapproved departures from the Approved Plans, if left uncorrected or unapproved longer than 180 days from the date of the Final Inspection letter to the Owner, shall result in the forfeiture of the Compliance Deposit and retention by the Association of all or part of the Compliance Deposit.

If the Association is unable to locate the Deposit Owner after a good-faith effort and the Deposit Owner otherwise fails to claim the Deposit 90 days after approval, the Deposit Owner shall be deemed to have waived his or her rights under A.R.S. 33-1817 and agrees to allow the Association to retain the Deposit.

## **CONSTRUCTION AND REMODELS**

Firerock is beginning to experience a number of requests for remodeling of homes. While interior remodeling does not necessarily require an approval from the Committee of Architecture; placement of dumpsters, material storage and contractor information is required for gate access. If remodeling involves changing any exterior elements such as windows, doors, landscape or additions of fountains, barbecues or pools, you will need to submit to the Committee of Architecture for approval.

Dumpsters shall be placed in the driveway during a remodel (if possible). If for some reason a dumpster cannot be placed in your driveway it may be placed on street in front of your home. Please contact the on site office for placement. A \$1,500 refundable deposit is required to insure there is no damage to the street or sidewalk during a remodel. Plywood must be utilized during placement and pick up to prevent damage to the street. The dumpster must be coned with reflective cones to insure visibility in the evening. Adjacent driveways shall not be blocked with the placement of the dumpster.

Materials should be stored in a garage or placement should not be visible from the street and adjoining neighbors. Trash and debris shall be cleaned up daily. Portable toilets, if required should be placed in an inconspicuous location.

## **Construction Fencing Requirements**

All new home construction sites and any major renovation projects are required to be properly fenced as described below:

1. The purpose of this measure is to contain construction debris and limit disturbance. Fencing must be installed prior to the salvage of landscape material and all other construction work per Town and County requirements.
2. All approved building envelopes must be fenced with a six (6) foot tall cyclone fence. The fence may be placed no closer than five feet from any side lot line and remain locked after hours.
3. All improvements must occur within the fenced area.
4. Attention should be given to the layout and geometry of the gate so all construction access can be facilitated. Care should be taken such that no open gate overlaps the sidewalk or street when open.
5. All driveways, dumpsters, salvaged plants, and portable toilets must be housed within the fenced perimeter.
6. The COA recommends that gates for the construction fence be locked during non-construction hours.
7. Rope off property along the street to prevent damage to the landscape on the street shoulder

## **Construction Regulations**

To ensure orderly construction of homes and home improvements within Firerock Country Club, the following Design Guidelines and rules and regulations shall be enforced during the construction period

of all improvements. These guidelines, in their entirety, apply to new custom home construction, remodel work, and any other construction within the Firerock Community.

## **Contractors**

All contractors shall be properly licensed and bonded within the State of Arizona and shall meet all appropriate legal requirements.

## **Access to the Firerock Community and the Construction Site**

All construction traffic and all employees must enter and exit the project site only at the Firerock Country Club main entrance at such times and following such procedures as Firerock may put in place from time to time. Contractors, subcontractors, and employees must not cut locks or fences for entering or exiting the site and must close all gates at unguarded entrances. No gate shall impede the use of Community sidewalks or block Community streets

## **Construction/Utility Trailers**

Prior to location of any utility trailer, each Owner or Builder shall submit for COA approval, a site plan indicating the proposed location of all such facilities, together with related parking and storage areas. The type, size (not to exceed 6x10), exterior appearance, and location of the facility(s) shall not have any form of signage unless pre-approved. The color of the trailer shall be pre-approved. The trailer(s) may not be placed on the construction site earlier than two (2) weeks prior to the actual onset of continuous construction activity. Without written approval of the COA, the construction trailer may not remain on the construction site for a period of time that exceeds the earlier of (a) six months or (b) Completion of Framing.

## **Sanitary Facilities**

Each owner shall be responsible for providing adequate sanitary facilities for construction workers. Portable toilets must be located within the construction site fence as approved in the construction site plan. Temporary toilets must be provided in accordance with OSHA requirements. Temporary toilets must be of earth tone colors (not bright or primary colors). However, signage on the device that identifies the device's owner or servicing agent may exhibit corporate colors.

## **Excavation Materials and Blasting**

If any blasting is to occur, the COA must be notified two (2) weeks in advance. Blasting may only be performed by appropriately licensed personnel, after all required permits have been obtained, together with the completion of required public notices and the obtaining by the Owner of all requisite insurance coverage as mandated by state statute and the Town of Fountain Hills. The COA shall have the authority to require public notices in addition to those required by law, and to require written documentation of anticipated seismic effects, with confirmation that such effects will not be injurious to other persons or properties, public or private, and that all appropriate protection measures have been utilized. All blasting materials shall be stored and secured off of the property.

## **Colored Concrete**

Firerock sidewalks are colored concrete. If damaged during the course of construction, contractor must replace the panel. The color utilized is 2lbs of Davis "Salmon" for each sack of cement.

## **Construction Period**

Construction activity on the Lot shall begin within six (6) months of Final Plan Approval unless an extension is granted by the Committee of Architecture for cause after consideration of a written request from the applicant. All construction and installation activity related to the approved project including landscape installation shall be completed within 24 months of the original Town of Fountain Hills building permit date unless an extension is granted by the Committee of Architecture. Fines can be up to \$100 per day.

## **Construction Delays**

Upon receipt of Final approval for construction by the COA and a building permit by the Town of Fountain Hills, the Owner shall commence the construction within six months pursuant to the approved Final Design Submittal, or within 24 months from the original building permit date. Construction must be actively pursued. Should little or no construction take place for a period of 30 days, the owner must notify the Community Manager immediately. The owner must submit a written request for a construction extension to include explanation for the construction delays and a revised construction schedule. If the Owner fails to comply with decisions of the COA—including any extension stipulations granted, the COA may notify the Association of such failure. The Association, at its option, may levy substantial fines and/or complete the exterior in accordance with the approved drawings or remove the improvement(s), and the Owner shall reimburse the Association for all expenses incurred in connection therewith.

## **Construction Trash, Debris Removal and Street Sweeping**

Clean up and removal of debris from the site must be completed on a daily basis to keep the project clean, orderly, and hazard free. Lunch trash must be contained. A Littering on the job site will not be tolerated. Chain link enclosures shall not be used to contain construction trash. Self contained dumpsters shall be utilized during the construction phase. Any trash that extends onto neighboring properties shall be immediately removed and properly disposed of. If the Owner or Builder is not responsive to these requests the COA shall hire personnel for cleanup and the homeowner shall be billed and liable for these expenses.

Contractor cleanup will be strictly enforced. Failure to adhere to this item, like other violations, will result in a back charge to the Lot owner or removal from the job site.

All light trash and debris shall be disposed of at the end of each construction day in the trash receptacle (dumpster). The contents of the on-site receptacle shall be removed from each construction site as needed.

Heavy debris, such as broken stone, wood scrap or the like, must be removed from the site and be disposed of at least weekly, or upon completion of the work of each trade that has generated the debris.

Owners are strictly prohibited from dumping, burying, or burning trash anywhere on the Owner's lot or in the Firerock Country Club Community.

Each Owner shall, within twenty-four (24) hours unless otherwise approved, promptly remove dirt and mud, silt, or other debris from streets, paths, driveways, open spaces, or other portions of Firerock that are affected by such Owner's construction activity. The Firerock Committee of Architecture (COA)



further reserves the right in an emergency situation to cause immediate removal by an Owner of trash and debris or dirt, mud, or silt related to such Owner's construction activity as may, in the sole judgement of the COA, create or constitute a to an emergency or hazardous condition. Any Owner receiving an emergency notice as herein described shall comply with the actions required by such notice as rapidly as possible.

All concrete washout from both trucks and mixers, must, at a minimum, comply with all governmental regulations and shall only be permitted in areas approved by the COA. Washout on public or private streets, or on adjacent properties is strictly prohibited.

The Committee of Architecture reserves the right to require an Owner to complete road sweeping as needed. Dust control and dust removal along haul routes utilized by such Owner shall be monitored by the Owner and performed as needed.

During the construction period, each construction site shall be kept in a neat and orderly fashion and shall be properly policed by the Owner to prevent it from becoming unsightly or creating any detriment to other lots or open space areas.

No Contractor or Owner shall place any fill materials, clippings, oil, chemicals, or trash of any kind with the open space areas in Firerock. No grading, vegetation removal, or alteration shall be permitted in these areas, including domestic landscaping and fencing, other than as pre-approved by the COA.

### **Damage Repair**

Each owner has the direct responsibility for the control of their contractors and the actions of said contractors. All liability for violations of the Declaration of Design Guidelines caused by general or subcontractors shall rest with the owner. All liability for damage to Community roads, sidewalks, and/or Community property shall be the responsibility of the Owner. All repairs must comply with all Community standards including street cuts and repairs. Consult counsel for how to enforce and include on billings.

### **Landscape Materials Installation**

Landscaping must be installed within two (2) months of completion of the exterior of the home; this may be extended only by a grant from the Committee of Architecture in order to allow planting in more favorable seasonal climatic conditions. Failure to complete approved landscaping within the specified time will automatically result in the issuance and recording of a deed restriction violation (encumbrance) on the property. Fines may then be imposed. No Owner Compliance Deposit shall be returned until all landscape materials have been planted in accordance with the approved landscape and landscape lighting plan and all fines will reduce the amount of the Deposit to be returned.

### **Noise Control:**

No radio or other audio equipment shall be audible beyond the perimeter of a particular construction site or parcel within Firerock, and the COA reserves the right to prohibit any on-site use of radios or other audio equipment during construction within any construction site or lot where violations of this provision have occurred.

The Firerock Country Club Committee of Architecture may, in its sole discretion, enact additional builder procedures, construction time frames (temporary, or permanent), construction noise restrictions, and/or dust abatement requirements to be required of builders or their sub-contractors.

### **ENFORCEMENT AND FINE SCHEDULE FOR CONSTRUCTION VIOLATIONS:**

Construction Sites within Firerock are subject to unique circumstances. It is important that Owners/Builders understand the expectations of the Committee of Architecture and Firerock Board of Directors as well as recognize that most sites have adjacent neighbors to consider.  
Builder Fine Schedule – **EXHIBIT C**

### **DISCLAIMER:**

**Neither the Firerock Community Association Committee of Architecture, nor any member of the Committee, Committee Consultants nor the Firerock Community Manager, nor any member of the Firerock Board of Directors shall be liable in damages to anyone submitting plans to them for approval or to any other homeowner that may be attached by any actual alterations or improvements approved or otherwise.**

**Every owner or other person who submits plans to the Committee for approval agrees, by submission of such plans and specifications, that he/she will not bring any action or suit against the Committee nor any member, or consultants thereof, nor any director of the Firerock Homeowners Association to recover damages.**

**Approval by the Committee of Architecture or any member thereof shall not be deemed to be a representation or warranty that the owner's plans or specifications or the actual construction of any improvements comply with applicable governmental ordinances or regulations.**

**Any provision herein which restricts the sale, rental, or use of the described real property because of familiar status is invalid and unenforceable under federal law**

**ANY MODIFICATION TO ANY EXTERIOR ASPECT OR DETAIL OF THE APPROVED PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE FIREROCK COMMITTEE OF ARCHITECTURE PRIOR TO CONSTRUCTION OR APPLICATION. FAILURE TO DO SO MAY RESULT IN A REDUCTION OR FORFEITURE OF OWNER COMPLIANCE DEPOSIT.**

Please call the Community Manager at 480-836-4323 if you have questions for the Committee of Architecture or need more information

## GENERAL GUIDELINES – RULES AND REGULATIONS

### Antennas/Satellite Dishes/Internet Antennas

A Federal Communications Committee (FCC) rule prohibits Associations from restricting the use of antennas intended to receive direct broadcast satellite service that are eighteen inches (18”) or less in diameter for standard satellite and thirty-six by twenty-two inches (36”x 22” oval) or less in diameter for high definition. However, the Association may impose reasonable restrictions on the safety and other specific parameters allowed by the FCC Rule.

The Association must be notified of the installation of a satellite dish, antenna, Direct TV or internet access equipment. Only one antenna or satellite dish is permitted per home. Outside installation is allowed only if the Committee of Architecture approves, in writing, the specifications for locations, attachment, safety and screening for compliance with the following standards:

- Antenna or satellite dishes must be properly bolted and secured.
- Antenna or satellite equipment must be located behind a solid wall, fence or perennial landscaping to the greatest extent reasonably possible, in order to prevent it from being seen from any street, common area or neighboring home; and shall not be higher than the fence or landscaping that is screening it from view.
- Satellite dishes may be pole mounted in private areas below the height of the wall or with minimal view of dish if higher than the wall. Any wiring or conduit from the satellite dish which is visible must be painted the same color of the home as to blend with the home.
- Antennas may not be located on a freestanding tower or platform. Eave mounted antennas may not exceed the height of the roofline peak. The antenna is not permitted to be installed on a patio enclosure, gazebos, a shed, or any other structure other than the interior, not exterior, of the wing wall/privacy wall adjoining the home.
- The location, installation and screening requirements are based on aesthetics, non-interference with reception by neighbors, preservation of property values and safety, including avoidance of injury or property damage from improperly installed or otherwise dangerous antennas or satellite dishes.

If an owner demonstrates to the Association’s reasonable satisfaction that these rules impair that particular owner’s reception, the Association may accommodate the owner in receiving unimpaired reception on a case-by-case basis. To grant this variance, a letter from the installation company, on their company letterhead must be sent to the Committee with the completed application form.

If it becomes necessary to mount the satellite dish or antenna to the home, the Association shall require the pole and wiring be painted to match the home.

## Awnings

- All Awnings materials and locations must be approved by the COA prior to installation.
- Small ornamental fixed awnings are allowed if consistent with the style of the home. If made of fabric they must be maintained free of accumulated dust, dirt, fading or other discoloration.
- Retractable Fabric awnings may be allowed on a case by case basis and with Pre-Approval.
- All Patio screens are to be mounted on the interior side of all headers. The enclosure of the screen shall not be visible to the Community.

## Basketball Standards

Permanently affixed and movable basketball standards and/or backboards are not permitted.

## Canvas Awnings and Sunshades

All canvas or metal awnings must be submitted to the Committee of Architecture for approval **prior** to installation. Canvas retractable awnings that project away from the wall will be reviewed on a case by case basis. Consideration of the architectural style of the home and how these awnings are integrated into the style of the home will be critical. Fixed awnings if incorporated into the architectural style may be considered. Retractable vertical sun shades may be approved on a case-by-case condition. Sunshades must be mounted behind a patio header or within the soffit. The storage unit for the retracted shade must be incorporated into the architecture of the home and not visible. Typically, the shade color should match the window frame color or be bronze.

Metal shutters and the housing for shutters are discouraged.

If you reside within a condominium association within Firerock, only certain retractable shade colors are permitted. Please check with your board or management to insure you comply.

## Decorative Outdoor Lighting

Decorative lighting includes clear outdoor string lights found in various shapes and sizes should be limited to private areas only.

Decorative lighting is defined as temporary outdoor lighting used to provide ambience within the confines of a private back yard or court yard. Decorative lighting does not meet the guidelines considered for permanent lighting nor the requirements for the "Dark Sky".

## Flag Display

Only one free standing flag pole shall be permitted per lot. A flag pole must be set back no less than ten feet (10') from the boundary of the owner's property and property lines. The height of the flag pole from grade level of the lot shall not exceed twenty feet (20'). Flag poles may display up to two of the following flags: the American flag, United States Armed Forces flags, the POW/MIA flag, the Arizona State flag, Don't Tread on Me, or an Arizona Indian Nation's flag. The size of the flag shall not exceed

four feet by six feet (4' x 6') in dimension. **(Revised Dec. 2012). Flag flying and lighting requirements shall follow the US Department of Veterans Affairs Guidelines.**

Flag hardware such as guide lines, lanyards, and metal clips are not permitted to disturb the peace of the neighborhood and shall be fixed in a manner to eliminate noise caused by wind. Plans for lighting the flag and flag pole must be included with the submittal for approval. When lighting is installed, all due care must be taken to use a fixture and bulb wattage that will not cause a nuisance to neighboring lots. **(Revised Sept. 2006, Revised Dec. 2012)**

All flags and flagpoles shall be maintained in good condition in accordance with community standards and state or military flags must be flown in accordance with the Federal Flag Code to include lighting requirements. The American flag must follow US flag etiquette found at [www.usflag.org/flagtique.html](http://www.usflag.org/flagtique.html).

Residents may use brackets mounted on the house or garage for the display of the American flag. Flags displayed from such mounts shall be no larger than three feet by five feet (3' x 5') in dimension.

Seasonal flags which are house-mounted below the roofline do not require approval and may be displayed 30 days before and must be removed within 14 days after the date of the holiday to which the flag pertains. Flags must be maintained in good condition at all times. Flags that are torn, ripped, faded, etc. constitute grounds for removal. Flags deemed offensive by the Board or Design Review Committee shall be removed.

## **Holiday Decorations**

The intent of this section is to insure a tasteful and high standard of quality for holiday decorations. Holiday decorations shall be subtle and elegant. The COA reserves the right to prohibit any holiday decorations it deems inappropriate. The following criteria should be followed:

- Figurines and other displays should not be mounted on rooftops or outside the building envelope or private area, which ever is more restrictive.
- No exposed spotlights are allowed
- Exterior holiday music is not allowed except for that which is played for personal and social enjoyment within the outdoor living spaces.
- Christmas holiday decorations can be displayed only between Thanksgiving and January 10<sup>th</sup>.
- Decorations for any other holiday may be displayed no more than two weeks prior to the holiday and must be removed one week following the holiday.
- Care should be taken to avoid excessive light pollution at night.

## **Landscape Maintenance**

Each owner is required to maintain the landscape on their lot in such a manner that it does not become visually unattractive, overgrown, or otherwise not in keeping with these Guidelines, the applicable policies of the Association, or other provisions of the CC&R's. Decisions in this regard shall be in the sole discretion of the Committee of Architecture.

Most desert plant material will benefit from an annual cut back or every other year renovation. This allows the plants to regenerate and promotes natural growth and blooms. Brittle Bush propagates naturally and may need to be selectively removed. Desert Broom is an invasive weed that will often look green and natural but is not permitted to grow in your landscape area. If Desert Broom is not removed in a timely manner by the owner it will be removed by the Owners Association at the owners cost.

## **Outdoor Furnishings**

All outdoor furnishings that are visible to the street, adjacent lots, or visible to the golf course shall have compatible coloration with the design of the home

Outdoor furnishings should be carefully selected so that it will blend with the character of the home and meet the following criteria:

- Color: The color of the furnishings needs to complement the home and surrounding desert.
- Style: The style of the furniture should match the architectural character of the home.
- Quality: Quality furniture will retain its attractiveness longer and is more durable in the harsh desert climate.
- Homeowners should pay close attention to the maintenance of all outdoor furnishings and equipment.

## **Outdoor Art**

Exterior artwork or sculpture that is visible is subject to review and approval by the Committee of Architecture (COA). Approval is not required if the artwork is proposed within private enclosed courtyards and is not visible from adjacent lots or the golf course. The COA reserves the right to not approve any exterior artwork that it deems inappropriate for reasons of subject matter, height, color, size, reflectivity, or proposed location. Exterior sculpture will be permitted only if submitted for review and approved by the COA in terms of material, color, size, and placement as follows:

- Color and material: Color must complement the home and surrounding neighborhood
- Size: Sculpture and art must be of a modest size and must not overpower the architecture.
- Placement: In most cases, it is most desirable to place artwork within a landscape, hardscape, or architectural setting and not in isolation.
- Artwork lighting: The lighting of outdoor art is prohibited.

## **Outdoor Play Equipment**

Children's swing sets, jungle gyms, slides and similar outdoor play equipment must be reviewed by the Firerock Committee of Architecture prior to installation. Equipment should be screened from view by walls or mature landscaping and located on the portion of the lot least visible from the street, adjacent lots and the golf course. Colors should be muted and match the color of the house. Maximum height of play equipment is ten (10) feet.

## Paint

Painting your home is a maintenance responsibility for every owner. Arizona heat and sun can be especially harsh on paint. As a rule of thumb, experts recommend painting your home every 7 to 10 years depending on the quality of paint used. Retaining walls or elements exposed to moisture or irrigation may require painting and repair more frequently. A Modification Application is required every time your house is painted, even if using the existing paint scheme.

**All paint and material colors must have a Light Reflective Values (LRV) between 30 and 48 and receive Committee of Architecture approval prior to application.** Paint colors may not be used that are the same as the home on either side of your property or across the street.

## Signage Requirements

- A. Only one (1) "For Sale" sign may be located on a Community street. A second sign may be installed facing the golf course. The indoor or outdoor display of an industry standard-size "For Sale" sign and sign rider is permitted on an owner's private property in Firerock. Industry stand-size for a For Sale sign is defined as not to exceed 18 inches by 24 inches. The rider may not exceed six inches by 24 inches. For Sale signs and sign riders larger than the industry standard and/or not commercially produced are not permitted.
- B. The indoor or outdoor display of an industry stand-size For Lease/For Rent sign is permitted on an owner's private property in Firerock. Industry standard-size for a For Lease/For Rent sign is defined as not to exceed 18 inches by 24 inches. For Lease/For Rent signs larger than the industry standard and/or not commercially produced are not permitted.
- C. Realtor "Open Houses" To denote an Open House, a commercially produced Open House sign no larger than the industry stand 18 inches by 24 inches is permitted. Open House signage must be displayed in accordance with the Open House Policy. Open House signs may be placed the day of the open house and must be removed before dark on the day of the Open House.
- D. No For Sale signs, Open House signs, realty direction signage or For Lease/Rent signs are permitted to be placed on Association common areas.
- E. There shall be no signs allowed on an improved property not for sale.
- F. During the construction period (after the issuance of a Firerock Construction Certificate) a general contractor may install an identification sign, which has been pre-approved in writing by the Committee of Architecture as to size, colors, design and message contents.

- G. No individual subcontractors or financing bank signs are permitted, including but not limited to pool companies, banks, excavators, painters, framers, landscape installers, masonry companies.
- H. Political signs with a total aggregate square footage not to exceed nine (9) square feet may be displayed on an owner's property up to 71 days before an election and no later than three (3) days after an election, or as noted in later revised state statutes. The display may be outside or inside, but must be on the owner's property, and there is no limit on the number of political signs that may be displayed. No political signage is permitted to be placed on Association common area. Political signage need not be commercially produced. For the purpose of this rule, a political sign is a sign that attempts to influence the election of a public officer or influence the outcome of a public ballot measure such as a recall or proposition.

### **Trash Receptacles**

All trash receptacles are to be removed from the street by 6:00PM on the day trash is picked up and stored in the garage or behind a wall twelve inches taller than the receptacles. Trash cans must not be visible from neighboring properties. If a homeowner is not going to be available to return cans to their garage areas please contact a neighbor for assistance or please contact the Community Manager for alternate arrangements for which a fee may be imposed.

### **Vehicle Parking**

All automobiles, vans, pick-up trucks of less than ¾ ton capacity and motorcycles shall be parked in the garage overnight except those of temporary guests. No mobile home, motor home, trailer, truck with a capacity of ¾ tons or more, camper, boat or other type of recreational vehicle shall be kept, placed, maintained, constructed, reconstructed or repaired on the property. Minor vehicular repairs may occur only if within the enclosure of the attached garage.

### **Improvements and Alterations**

No home or lot improvements, alterations, excavations, grading, landscaping or other work which alters the exterior appearance of any residence or lot shall be allowed without the prior written approval of the Firerock Community Association Committee of Architecture.



**DISCLAIMER:**

**Neither the Firerock Community Association Committee of Architecture, nor any member of the Committee, Committee Consultants nor the Firerock Community Manager, nor any member of the Firerock Board of Directors shall be liable in damages to anyone submitting plans to them for approval or to any other homeowner that may be attached by any actual alterations or improvements approved or otherwise.**

**Every owner or other person who submits plans to the Committee for approval agrees, by submission of such plans and specifications, that he/she will not bring any action or suit against the Committee nor any member, or consultants thereof, nor any director of the Firerock Homeowners Association to recover damages.**

**Approval by the Committee of Architecture or any member thereof shall not be deemed to be a representation or warranty that the owner's plans or specifications or the actual construction of any improvements comply with applicable governmental ordinances or regulations.**

**Any provision herein which restricts the sale, rental, or use of the described real property because of familiar status is invalid and unenforceable under federal law**

**ANY MODIFICATION TO ANY EXTERIOR ASPECT OR DETAIL OF THE APPROVED PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE FIREROCK COMMITTEE OF ARCHITECTURE PRIOR TO CONSTRUCTION OR APPLICATION. FAILURE TO DO SO MAY RESULT IN A REDUCTION OR FORFEITURE OF OWNER COMPLIANCE DEPOSIT.**

Please call the Community Manager at 480-836-4323 if you have questions for the Committee of Architecture or need more information

## EXHIBIT A

### APPROVED PLANT LIST

Because it is difficult to name every acceptable plant material available, the Reviewing body will consider requests for plant materials not listed, provided that such plant materials are not on the list of prohibited plant materials in Section 9.7 of these Design Guidelines. The Reviewing Body reserves the right to refuse any plant materials it believes will not be beneficial to the environment of FireRock Community Association. Some of the following listed plants are tolerant of both hot and cold temperatures, some may thrive in the desert soil conditions and others may have special characteristics that make them ideal for the southwest desert climate. Owners shall review the use and placement of all plants with a knowledgeable professional or consult appropriate reference material.

Refer to the Arizona Nursery Association (ANA) Container Grown Tree Guide & Market Update for acceptable sizes of plant material. Available at [www.azna.org](http://www.azna.org)

Firerock Committee of Architecture now requires a site visit near completion of project so that adjustments can be made in regards to how new construction elements impact views from existing residences, golf course and public areas. Additions to landscape may be required to screen the height of walls, electric panels, a/c or utility access. It is up to the building contractor and/or owner to notify the community manager as to the progress of the project so the site visit can be scheduled and final adjustments made to be part of final inspection and approval.

<u>Botanical Name</u>	<u>Common Name</u>	<u>Zone</u>
<b><u>TREES</u></b>		
Acacia aneura	MULGA	T,P
Acacia craspedocara	LEATHERLEAF ACACIA	P
Acacia salicina	WILLOW ACACIA	T,P
Acacia smallii	SWEET ACACIA	T,P
Acacia stenophylla	SHOESTRING ACACIA	T,P
Acacia species (Under 25ft.)		T,P
Aloysia virgata	SWEET ALMOND BUSH	T,P
Bauhinia lunariodes	ANACACHO ORCHID	P
Bauhinia macranthera	CHIHUAHUAN ORCHID TREE	P
Caesalpinia cacalaco	CASCALOTE	T,P
Chilopsis linearis	DESERT WILLOW	T,P
Chitalpa tashkentensis hybrid	CHITALPA	T,P
Fraxinus greggii	LITTLE LEAF ASH	T,P
Leucaena retusa	GOLDEN LEADBALL TREE	T,P
Lysiloma microphylla v. thornberi	DESERT FERN	P
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<i>Olneya tesota</i>	IRONWOOD	N,T,P
<i>Parkinsonia florida</i> ( <i>Cercidium floridum</i> )	BLUE PALO VERDE	N,T,P
<i>Parkinsonia microphylla</i>	FOOTHILL PALO VERDE, LITTLELEAF PALO VERDE	N,T,P
<i>Parkinsonia</i> ( <i>Cercidium</i> ) <i>praecox</i>	PALO BREA	N,T,P
<i>Parkinsonia</i> ( <i>Cercidium</i> ) X	DESERT MUSEUM PALO VERDE	N,T,P
<i>Pithecellobium flexicaule</i> ( <i>Ebenopsis ebano</i> )	TEXAS EBONY	N,T,P
<i>Pithecellobium mexicanum</i>	MEXICAN EBONY	N,T,P
<i>Pithecellobium pallens</i>	TENANZA	N,T,P
<i>Prosopis</i> species	MESQUITE	N,T,P
<i>Prunus mexicana</i>	MEXICAN PLUM	P
<i>Sophora secundiflora</i> (all varieties)	TEXAS MOUNTAIN LAUREL	T,P
<i>Ungnadia speciosa</i>	MEXICAN BUCKEYE	P
<i>Vitex agnus-castus</i>	CHASTE TREE	N,T,P

### **CACTI - ACCENTS**

<i>Agave</i> spp.	AGAVE SPECIES	T,P
<i>Aloe</i> spp.	ALOE SPECIES	P
<i>Asclepias subulata</i>	DESERT MILKWEED	N,T,P
<i>Carnegiea gigantea</i>	SAGUARO	N,T,P
<i>Cycas revoluta</i>	SAGO PALM	P
<i>Dasyliirion acrotriche</i>	GREEN DESERT SPOON	T,P
<i>Dasyliirion longissimum</i> ( <i>quadrangulatum</i> )	MEXICAN GRASS TREE	T,P
<i>Dasyliirion wheeleri</i>	DESERT SPOON	N,T,P
<i>Dietes</i> spp.	FORTNIGHT LILY	P
<i>Echinocereus</i> spp.	HEDGEHOG VARIETIES	N,T,P
<i>Echinocactus grusonii</i>	GOLDEN BARREL	T,P
<i>Euphorbia antisypilitica</i>	CANDELILLA	T,P
	CROWN OF	
<i>Euphorbia milli</i>	THORNS	T,P
<i>Euphorbia resinifera</i>	MOROCCAN MOUND	T,P
<i>Euphorbia rigida</i>	GOPHER PLANT	T,P
<i>Euphorbia tirucalli</i>	PENCIL EUPHORBIA/FIRESTICK	P
<i>Ferocactus cylindraceus</i> barrel	COMPASS BARREL	N,T,P
<i>Ferocactus wislizenii</i> barrel	FISHHOOK BARREL	N,T,P
<i>Ferocactus</i> spp.	BARREL SPECIES	N,T,P
<i>Fouquieria splendens</i>	OCOTILLO	N,T,P
<i>Hesperaloe funifera</i>	GIANT HESPERALOE	T,P
<i>Hesperaloe parviflora</i> (red and yellow)	HESPERALOE	T,P
	LILY	
<i>Liriope muscari</i>	TURF	P
<i>Lophocereus</i> sch. 'Monstrous' major	TOTEM POLE MAJOR	P
<i>Mammillaria microcarpa</i>	FISHHOOK CACTUS	N,T,P
<i>Nolina matapensis</i>	TREE BEAR GRASS	T,P

<i>Nolina microcarpa</i>	BEAR GRASS	T,P
	BUCKHORN	
<i>Opuntia acanthocarpa</i>	CHOLLA	N,T,P
<i>Opuntia basilaris</i>	BEAVERTAIL PRICKLY-PEAR	N,T,P
<i>Opuntia bigelovii</i>	TEDDY BEAR CHOLLA	N,T,P
<i>Opuntia cacanapa</i> 'Ellisiana'	PERENNIAL SPINELESS PRICKLY-PEAR	T,P
<i>Opuntia engelmannii</i>	ENGELMANN'S PRICKLY-PEAR	N,T,P
<i>Opuntia fulgida</i>	CHINFRUIT CHOLLA	N,T,P
<i>Opuntia leptocaulis</i>	DESERT CHRISTMAS CHOLLA	N,T,P
<i>Opuntia phaeacantha</i>	SPRAWLING PRICKLY-PEAR	N,T,P
<i>Opuntia rufida</i>	BLIND PRICKLY-PEAR	N,T,P
<i>Opuntia santa-rita</i> (violacea)	SANTA RITA PRICKLY PEAR	N,T,P
<i>Opuntia versicolor</i>	STAGHORN CHOLLA	N,T,P
<i>Pachypodium lamerei</i>	MADAGASCAR PALM	P
	TALL SLIPPER	
<i>Pedilanthus bracteatus</i>	PLANT	P,T
<i>Pedilanthus macrocarpus</i>	LADY SLIPPER	P,T
<i>Stenocercus</i> spp.	MEXICAN FENCE POST, ORGAN PIPE	T,P
<i>Trichocereus</i> spp.	TRICHOCERUS SPECIES	T,P
<i>Yucca aloifolia</i>	SPANISH BAYONET	T,P
<i>Yucca baccata</i>	BANANA YUCCA	N,T,P
<i>Yucca brevifolia</i>	JOSHUA TREE	N,T,P
<i>Yucca elata</i>	SOAP TREE YUCCA	N,T,P
<i>Yucca faxoniana</i>	YUCCA FAXONIANA	T,P
<i>Yucca gloriosa</i>	SPANISH DAGGER	T,P
<i>Yucca pallida</i>	PALE LEAF YUCCA	T,P
<i>Yucca recurvifolia</i>	PENDULOUS YUCCA	T,P
<i>Yucca rigida</i>	BLUE YUCCA	N,T,P
<i>Yucca rostrata</i>	BEAKED YUCCA	T,P
<i>Yucca rupicola</i>	TWISTED LEAF YUCCA	T,P
<i>Yucca thompsoniana</i>	THOMPSON'S YUCCA	N,T,P
<i>Yucca whipplei</i>	OUR LORD'S CANDLE	T,P
<i>Zephyranthes</i> spp.	RAIN LILY SPECIES	P,T
<b><u>SHRUBS</u></b>		
<i>Abutilon palmeri</i>	SUPERSTITION MALLOW	N,T,P
<i>Alyogyne huegelii</i>	BLUE HIBISCUS	T,P
	BURSGA	
<i>Ambrosia deltoidea</i>	E	N,T,P
<i>Ambrosia dumosa</i>	WHITE BURSGAE	N,T,P
<i>Anisacanthus quadrifidus</i>	MOUNTAIN FLAME	T,P
<i>Artemisia</i> 'Powis Castle'	POWIS CASTLE ARTEMESIA	P

Atriplex spp.	SALTBUSH SPECIES	N,T,P
Baccharis x 'Stan' Thomposo (male)	THOMPSON (MALE) BACCHARIS	P
Bougainvillea spp.	BOUGAINVILLEA	P,T
Buddleia marrubifolia	WOOLY BUTTERFLY BUSH	T,P
Caelaspinia spp.	BIRD OF PARADISE SPECIES	T,P
Calliandra californica	BAJA RED FAIRY DUSTER	T,P
Calliandra eriophylla	FAIRY DUSTER	N,T,P
Callistemon viminalis dwarf	DWARF LITTLE JOHN BOTTLEBRUSH	P,T
Carissa macrocarpa	GREEN CARPET	P
Caryopteris X clandonensis 'Dark Knight'	BLUE MIST	T,P
Cassia spp. (Senna spp.)	CASSIA SPECIES	T,P
	DESERT	
Celtis pallida	HACKBERRY	N,T,P
Cordia parvifolia	LITTLE LEAF CORDIA	T,P
Dalea spp.	DALEA SPECIES	T,P
Dodonea viscosa	GREEN HOPSEED	T,P
Dodonea viscosa purpurea	PURPLE HOPSEED	T,P
Encelia farinosa	BRITTLEBUSH	N,T,P
Ephedra spp.	MORMON TEA	N,T,P
Eremophila spp.	EMU BUSH SPECIES	T,P
Ericameria laricifolia	TURPENTINE BUSH	N,T,P
Eriogonum fasciculatum v. poliofolium	FLATTOP BUCKWHEAT	T,P
Fallugia paradoxa	APACHE PLUME	T,P
Feijoa sellowiana	PINEAPPLE GUAVA	P
Gaura lindheimeri	GAURA	T,P
Hamelia patens	FIRECRACKER BUSH	T,P
Hyptis emoryi	DESERT LAVENDER	T,P
Justicia brandegeana	SHRIMP PLANT	P
Justicia californica	CHUPAROSA	N,T,P
Justicia ovata	RED JUSTICIA	T,P
Justicia spicigera	MEXICAN HONEYSUCKLE	T,P
Lantana x Dallas Red, New Gold	LANTANA	T,P
Larrea tridentata	CREOSOTE BUSH	N,T,P
Lavandula spp.	LAVENDER SPECIES	P
Leucophyllum spp.	SAGE VARIETIES	T,P
Lobelia laxiflora	LOOSE FLOWERED LOBELIA	T,P
Lotus rigidus	DEER VETCH	T,P
	DESERT	
Lycium andersonii	WOLFBERRY	N,T,P
Lycium exsertum	THORNBUSH	N,T,P
Malvaviscus drummondii	BIG MOMMA TURK'S CAP	P
Maytensus phyllanthoides	MANGLE DULCE	T,P

Myrtus c. 'Boetica'	TWISTED ROMAN MYRTLE	P
Plumbago capensis	BLUE/WHITE PLUMBAGO	P
Portulacaria afra	ELEPHANT'S FOOD	P,T
Psilostrophe cooperi	PAPER FLOWER	N,T,P
Rhus ovata	SUGAR BUSH	T,P
Rosmarinus officinalis	ROSEMARY	T,P
Ruellia brittoniana spp.	RUELLIA SPECIES	P
Russelia equisetiformis	CORAL FOUNTAIN GRASS	T,P
Russelia x St. Elmo's Fire	ST ELMO'S FIRE	T,P
Salvia spp.	SALVIA VARIETIES	T,P
Senna spp. (Cassia)	SENNA VARIETIES	T,P
Simmondsia chinensis	JOJOBA	N,T,P
Sphaeralcea ambigua	GLOBE MALLOW	N,T,P
Stachys coccinea	TEXAS BETONY	P
Tagetes lemmonii 'Compacta'	COMPACT MT. LEMON MARIGOLD	T,P
Tecoma stans varieties	ARIZONA YELLOW BELLS	P,T
Tecoma hybrid varieties	HYBRID TECOMA	P,T
Teucrium chamaedrys	GERMANDER	T,P
Vaquelina californica	ARIZONA ROSEWOOD	T,P
Viguiera parishii (deltoidea)	GOLDENEYE	N,T,P
Wedelia (zexmenia) hispida	DEVIL'S RIVER	T,P
Wedelia trilobata	YELLOW DOT	P
Zauschneria californica	CALIFORNIA FUCHSIA	T,P

**GROUND COVERS, PERENNIALS AND ANNUALS**

Anigozanthos havidus	KANGAROO PAW	P
Aptenia cordifolia	HEARTS AND FLOWERS	P
Argemone platyceras	PRICKLY POPPY	T,P
Asparagus spp.	ASPARAGUS FERNS	P
Baileya multiradiata	DESERT MARIGOLD	N,T,P
Berlandiera lyrata	CHOCOLATE FLOWER	T,P
Bulbine frutescens	BULBINE	T,P
Caylophus hartwegii v. Fendleri	SUNDRUPS	T,P
Cephalophyllum 'Red Spike'	RED SPIKE ICE PLANT	T,P
Chrysactinia mexicana	DAMIANITA	T,P
Conoclinium (eupatorium) greggii	BOOTHILL	T,P
Convolvulus cneorum	BUSH MORNING GLORY	T,P
Convolvulus mauritanicus	GROUND MORNING GLORY	P
Cuphea hyssopofolia	MEXICAN FALSE HEATHER	P
Cupeha llavea	BAT FACED CUPHEA	T,P
	SIERRA GOLD	
Dalea capitata	DALEA	T,P

Dalea greggii	TRAILING INDIGO BUSH ICEPLAN	T,P
Drosanthemum speciosum 'Rosea'	T	T,P
Dyssodia pentachaeta (Thymophylla pentachaeta)	GOLDEN DOGBANE	T,P
Eremophila glabra 'Mingenew Gold'	OUTBACK SUNRISE EMU	T,P
Gazania	GAZANIA	P
Hemerocallis	DAYLILY	P
Hibiscus rosa-sinensis	HIBISCUS	P
Hymenoxys acaulis	ANGELITA DAISY	T,P
Lampranthus roseus	PURPLE OR RED ICEPLANT	P
Lantana montevidensis	TRAILING LANTANA	T,P
Liriope muscari	LIL TURF	P
Malphora lutea	ROCKY POINT ICE PLANT	P
Melampodium leucanthum	BLACKFOOT DAISY	T,P
Oenothera spp.	PRIMSROSE	P
Osteopermum fruticosum	AFRICAN DAISY	P
Penstemon spp.	PENSTEMON	N,T,P
Santolina virens	GREEN SANTOLINA	T,P
Teucrium capensis 'Prostratum'	TRAILING GERMANDER	T,P
Verbena goodingii	GOODING'S VERBENA	T,P
Verbena peruviana	VERBEN	P
Verbena ridida	SANDPAPER VERBENA	T,P
Verbena tenuisecta (pulchella)	MOSS VERBENA	T,P
Zephyranthes spp.	RAIN LILY SPECIES	T,P
Zinnia acerosa	DESERT ZINNIA	T,P
Zinnia grandiflora	LITTLE GOLDEN ZINNIA	P

### **VINES**

Antigonon leptopus	QUEEN'S WREATH	P
Bignonia capreolata	TANGERINE VINE	P
Bougainvillea spp.	BOUGAINVILLEA VINE	T,P
Callaeum macropterum	YELLOW ORCHID VINE	P
Clytostoma callistegioides	VIOLET TRUMPET VINE	P
Gelsemium semperviresn	CAROLINA JESSAMINE	P
Hardenbergia comptoniana	LILAC VINE	T,P
Lonicera x americana 'Pam's Pink'	PAM'S PINK HONEYSUCKLE	P
Mascagnia lilacina	LILAC ORCHID VINE	P
Podranea ricasoleana	PINK TRUMPET VINE	P
Rosa banksiae	LADY BANK'S ROSE	P
Solanum jasminoidoides	POTATO VINE	P
Trachelospermum jasminoides	STAR JASMINE VINE	P

**GRASSES**

Calamagrostis x acutiflora 'Karl Foerster'	FEATHER REED GRASS	T,P
Carex tumulicola	BERKELEY SEDGE	P
Cortaderia sellowana 'Pumila'	DWARF PAMPAS GRASS	P
Muhlenbergia x 'Pink Flamingo'	PINK FLAMINGO	T,P
Muhlenbergia capillaris	REGAL MIST	T,P
Muhlenbergia dubia	PINE MUHLY	T,P
Muhlenbergia lindheimeri	AUTUMN GLOW	T,P





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## **EXHIBIT B**

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### **REQUIRED MATERIAL FOR PRELIMINARY SUBMITTAL**

- Firerock Review Checklist.
- Three full size sets of drawings (minimum 24" x 36"). See required drawing list below.
- One reduced size set of drawings (11" x 17").
- Building Material Samples and Colors, multiple sheets 8 1/2" x 11".
- Building Material List (11" x 17").
- Study Model, with topographic contours, of the entire site, 3D computer model fly-around in Quick Time format.
- Two CD's including the following:
  - Full set of drawings.
  - Building Material Samples and Colors.
  - Building Material List.
  - Colored Building Elevation.
  - Study Model, 3D computer model fly-around.
  - Design Review Fee, Non-refundable
  - Owner's Compliance Deposit, Refundable

### **Required Drawings:**

- TOPOGRAPHICAL SURVEY
  - Native Plant Inventory
- GRADING AND DRAINAGE, prepared by a licensed Civil Engineer
  - Area Calculations
- LANDSCAPE/HARDSCAPE
- FLOOR PLANS
- ROOF PLANS/MASSING DIAGRAM
- EXTERIOR ELEVATIONS
- SITE SECTIONS
- DETAIL SHEETS

### **Drawing Checklist**

**SITE PLAN/GRADING AND DRAINAGE** prepared by a licensed Civil Engineer.

- 
- Provide the following information (scale: 1"=20' minimum):
  - Property boundaries
  - Development Envelope
  - Easements of record
  - Wash corridors
  - Edges of existing pavement and center line of street

**List Square Footage for the following:**

- Lot Area
- Area Calculations of the Disturbance Envelope.
  - Show the S.F. of disturbance allowed by original Disturbance Envelope.
  - Show the amount of disturbance proposed.

**List Cubic yards for the following:**

- Cubic yards of cut material
- Cubic yards of imported material

**Grading:**

- Topographic contours shown at minimum 2' intervals, existing/light line, new/darker/heavy line.
- Finished pad elevations.
- Finish floor elevations.
- Driveway, patios, walks, and pool deck elevations.
- Street and neighboring property elevations.
- Grading at outer edges of Disturbance Envelope should not result in abrupt transitions to adjacent landforms.
- Retaining walls – show top and bottom of wall elevations.
- Privacy and Screen walls – show top and bottom of wall elevations
  - Screen walls must be a minimum of 12" higher than the equipment being screened.

**Drainage:**

- Drainage from Lots onto the Golf Course or Open Space will not be approved.
- A Civil Engineer shall design culvert sizes.
- End of culverts are blended into the landscape by utilizing boulders, planting and painting the interior of the culvert a dark color.
- Rip-Rap: Site Plan, and Landscape drawings, provide the following note:
  - “Rip-Rap shall utilize a meandering natural placement of stones interspersed with appropriate vegetation. Stones should not be piled on the ground but rather inset into the soil (swale) and covered with native soil and re-vegetation so that the net appearance is 50% soil and 50% visible stone. Stones may only be used in a color which is natural looking and blends with the desert, and are a variety of natural shapes and sizes that slowly bleed out into the desert by utilizing bigger spaces between stones and smaller stones on the edges.”

**Parking and Driveways:**

- One driveway entry for each home site.
- Recommended driveway entries not exceed 18' in width at the road right-of-way. Verify city fire truck requirements for all driveways.
- Suggested minimum backing distance for a side-loaded garage is 24'.
- Recommended driveway finishes are pavers, brick, stone or other similar decorative material.

- Guest Parking (minimum 2 spaces) located within the Disturbance Envelope. One of the two allocated guest parking spaces may be located in front of a garage door.
- Locate two (4" diameter, schedule 40) conduits, (one of which is dedicated for association irrigation), at driveway and 3' from edge of street.

### **Garages:**

- Side or angled entries out of direct view from the street are encouraged.
- All garage doors shall have a minimum 12" recess. The use of Pop-Out Surrounds to achieve minimum recess is not allowed.
- Three or more garage bays require the 3<sup>rd</sup> bay to be offset by a minimum of 3' in plan.

### **Walls and Fences:**

- Walls should appear as extensions of the architecture/building and integral to the design of the Residence.
- Masonry walls must be at least 8" thick.
- Provide an adequately shielded location for trash and recycling canisters.
- Provide note on drawings: "Top of walls shall extend a minimum of 12" above the highest piece of equipment to screen enclosed equipment from view."
- Show screen walls at the following locations:
  - Screen wall at SES panel (electric meter)
  - Screen wall at gas meter
  - Screen wall at mechanical equipment
  - Screen wall at pool equipment
- View fences are encouraged in rear yards that face the golf course and public spaces.
- Note all wall heights

### **Utilities:**

- Locations of utilities such as water, sewer, gas, electrical and telephone/com are shown including location at the street easement and the trenched path from the easement to their access or point of connection at the home. Show screen walls at all meters. The same information should be coordinated and shown on the Landscape drawings.
- Show a discrete location for a Satellite Dish. Equipment may be roof mounted if not visible. Or a low wall mounted or ground mounted location with a screen wall to prevent visibility to adjacent property should be selected. Dish should be painted to match the surface it is mounted on.

### **Accessory Structures:**

- Landscape structures such as, but not limited to, arbors, porches, greenhouses and/or decks must be located within the Building Envelope and designed in the style of the main structure.

### **Pool:**

- Pools shall be inside the Disturbance Envelope.
- Pools should appear as an extension of the architecture and take advantage of solar orientation.
- Negative Edge Pools

- Exterior trough wall should be no lower than 2' below the waterline.
- Show pool deck elevation and top of trough wall elevations.

## LANDSCAPE/HARDSCAPE

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Drawn by a licensed landscape architect or qualified designer

- Show grading contours
- Areas of planting plant palette, tree locations
- Site lighting, Water features
- Hardscape Plan

## FLOOR PLANS

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- List Livable s.f. at each floor level. Minimum home should be 3,500 S.F. air-conditioned livable area.
- Note the First Floor elevations.
- Building masses should be generated from room-sized volumes or groups of masses.
- Recommended that building masses be organized to create outdoor “rooms” with a strong link from inside to outside.
- Doors and windows should be deeply recessed (3 5/8” minimum recess for windows and doors). Recommended that doors and windows facing the street and open space, including the golf course, have recesses greater than 4”.
- Mechanical Rooms should be labeled and coordinated with gas flues at Roof Plan.
- SES (electric panel), gas meter, mechanical equipment, and the pool equipment screen walls should be shown on the Floor Plan.
- If garage windows are desired show notes stating that required dark interior wood shutters or wood blinds would be installed.

## ROOF PLANS

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Roof profile should be richly varied, including individual masses of sufficient size in plan and elevation. Higher masses should generally occur toward the center, with the lower profiles occurring toward the outer portions of the house.

- Parapet and ridge elevations should be noted and superimposed over the existing pre-construction topography showing heights above natural grade.
- Roof parapets are a minimum of 18” high and terminate into an inside corner or against a mass.
- Views of satellite dishes or solar panels should be minimized or completely screened.
- Mechanical equipment such as but not limited to exhaust fans, vents, and pipes located to minimize view and painted to match roof surfaces.
- Exposed surface mounted roof vents such as but not limited to, turbine heads, and dome vents are prohibited.
- Show gas flues located on the Roof Plan. They should be behind a parapet or with a shroud on a pitched roof.
- Skylights are not permitted on pitched roofs. In permitted location, there may be no more than 3 per roof, and they must be low profile with either bronze or gray tinted lenses.

- Skylights are allowed in flat roof area; however parapets must be 12” above the highest point of the skylight. Show elevation at top of skylight and top of parapet.
- Roof sun decks – stairs to a roof deck must be screened from views with a solid wall.

## **ELEVATIONS**

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- Finish Floor elevations noted should be noted.
- Show the existing pre-construction grades (dashed line) and new finish grades (solid line).
- Show the 30-foot ANG maximum heights limit line.
- Show site and retaining walls imposed on the Building Elevations or provide additional Building Elevations with all walls clearly delineated.
- Garage doors must be wood custom in nature, without windows, and relate to the aesthetic of the Residence.
- Stone veneer walls highlight masses or planes rather than appear to be a veneer or wainscot.
- Material changes shall occur on the inside corners of masses.
- Stem wall/weep screed construction shows: the face of the finish stucco or stone above aligned with the face of the stem wall below (in the same vertical plane).
- Elevation elements - any proposed window shutters, windowsills, headers, gable end vents, rafter tails, lighting fixtures, wrought iron, special details, etc., are drawn and noted.
- Shutters need not be operable but must have hardware that appears to be operable. Double shuttered window shall be full sash height and ½ sash width for windows they adjoin. Single shutters openings shall be full sash height and width for the window they adjoin.

## **SITE SECTIONS**

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- Site sections should extend from property line to property line, and include all site retaining and screen walls, as well as the street and street elevation.
- Show existing pre-construction grades (dashed line) and new finish grades (solid line).
- Note floor and roof elevations.
- Show dashed lines at 30’ above natural grade. This line follows the profile of the natural existing preconstruction grade.

## **DETAILS**

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Provide details showing the design for the following:

- Window and doors with stucco application. Dimension recess.
- Window and doors with stone/masonry (etc.) application. Dimension recess.
- Roof details such as soffit, rake, and parapet.
- Stem wall details; Show the face of the finish material flush with the face of the stem wall.
- Provide all pertinent wall and roof details that show the specific nature of the building construction.

## **STUDY MODEL**

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- Model should be a 3D computer fly around depiction in Quick Time format. Three Dimensional computer model must show the entire site, with the new grades, site walls, driveway etc., as well as graphically depict the home in its entirety.

**MATERIAL BOARD** (8 ½” x 11 “ boards) samples of all proposed materials and colors.

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Roof:

- Manufacture:
- Material style:
- Material color/blend:
- Acceptable roof materials – Clay earth tone, integrally colored concrete, copper, rusted steel (subject to the sole discretion and approval of the DRC).
- Flat roofs (built up roofing) should be a darker color or surfaced with a material of a color that harmonizes with the natural desert. White or light colored roofs will not be approved.
- Prohibited roof materials are asphalt shingles, fiberglass shingles, simulated tile including fiberglass or metal, wood shakes, and enamel metal roofing

Exterior wall: Section 3.3.8

- Material/finish:
- Paint manufacture:
- Paint color:
- LRV#, (LRV must be 45 or less.
- Stucco shall have a smooth to semi-smooth texture. Heavily textured stucco patterns such as but not limited to lace, swirl or heavy trowel are discouraged.

Stone/Masonry Veneer: 3.3.8

- Material (Natural or Cultured Stone):
- Manufacture:
- Material style:
- Color:
- Due to the heavy visual nature, lintels, headers or beam details that appear to carry the load should be incorporated into the design.
- Stone should be in muted desert shades to compliment the natural terrain.
- Thin stone veneers applied in geometric or random patterns that are not structural in appearance will only be permitted on a case by case basis (as in a contemporary application).
- All material changes must terminate at an inside corner, never at an outside corner or in the same plain.

Trim: Such as but not limited to, Cantera stone or precast concrete:

- Material:
- Manufacture:
- Color:

Wood stain:

- Manufacture:
- Color:

Decorative metal: Material:

- Manufacture:
- Color:
- Metal may be used for railing, decorative window grills, and/or gates provided that the design draws upon the patterns and styles of the home, is not reflective, and has the appearance of iron, not tube steel.

Paving at pool deck and patios:

- Material:
- Manufacture:
- Color:

Paving: At terraces and walk ways:

- Material:
- Manufacture:
- Color:

Driveway:

- Material:
- Manufacture:
- Color:
- Driveway paving shall match or be similar in style and/or color to paving used for outdoor areas such as terraces and walkways.
- Approved driveway materials include colored/patterned concrete, exposed aggregate, concrete pavers, stone, brick, and cobble.
- No smooth or broom finished concrete will be allowed. Coloring and texturing of concrete is required. Asphalt and decomposed granite will not be approved.

Garage doors:

- Material:
- Manufacture:
- Color:
- They must be custom in nature, without windows, and relate to the aesthetics of the Residence.

Windows:

- Material:
- Manufacture:
- Color:



- If divided lights are proposed, please confirm that the windows will be either true divided lights or simulated divided lights with mullions for window divisions on the exterior, interior and between the panes of glass. Interior grilles only are not approved.

Exterior doors:

- Material:
- Manufacture:
- Color:

Light fixtures:

Exterior lighting attached to the home:

- Light source (bulbs) shall not be visible. Surface mounted carriage lamps must have obscure glass to hide the light bulb.
- Recess fixtures should have black trim or trim painted the same color as the soffits. White trim will not be approved.
- Please submit catalogue cut sheet of all exterior recessed and surface mounted light fixtures.

## EXHIBIT C

### FINE SCHEDULE FOR CONSTRUCTION VIOLATIONS

Construction Sites within Firerock are subject to unique circumstances. It is important that Owners/Builders understand the expectations of the Committee of Architecture and FireRock Board of Directors as well as recognize that most sites have adjacent neighbors to consider.

The following issues are subject to immediate violation notice to the Owners/Builders. If the situation continues at the site and the Association Management agent is not contacted regarding the remedy; fines will be assessed against the Compliance Deposit and may be subject to daily fines as follows:

<u>Infraction</u>	<u>Fine</u>
Failure to maintain construction fence and closed locked gates	\$100/incident
Uncontained Trash/Dumpster Issues	\$100/day
Construction Materials stored outside fence	\$100/day
Improper parking (subs/workers vehicles s/b Parked on one side of street) Do not block mailboxes or trash receptacles	\$100/incident per day
Noise Nuisances (radio's, loud music)	\$100 / incident
Damage to common areas, sidewalks, streets	\$500 plus cost of repair
Dumping of granite, dirt, etc on Community street	\$1,000/incident plus cost of cleaning
Additional street cleaning required	\$125 per hr. 2hr minimum
Unapproved construction changes	\$1000 minimum *

\*Up to complete forfeiture of compliance deposit if unapprovable