

**HIDDEN HILLS OF SCOTTSDALE
ARCHITECTURAL DESIGN GUIDELINES AND
COMMUNITY POLICIES**

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VISION AND PHILOSOPHY

1.1 Community Vision

Hidden Hills of Scottsdale is a premiere residential planned community nestled in the rugged and pristine foothills of the McDowell Mountains. Throughout the design and construction process, much emphasis was placed on causing minimum visual impact on the Sonoran desert environment within which Hidden Hills is located, while creating a living environment which allows for appropriate neighborhood interaction with the community's natural setting.

1.2 Design Philosophy

The intent of the design of all homes within Hidden Hills of Scottsdale was to respond to the unique geological, topographical, and vegetative characteristics of both the homesite and the Hidden Hills neighborhood within which it is located. Custom homes are to be designed to protect natural areas outside established development envelopes and minimize building heights to respect the low desert tree canopy and sloping topography of the custom home neighborhoods. Building materials and colors of all homes are required to have the lowest practical light reflectance value (LRV). Improvements shall consist of multiple building masses, and recessed windows and doors will be required to add shadow textures to blend with the natural environment.

Palettes of natural materials and colors that harmonize with the existing colors and textures of the surrounding desert will be selected by architects and

designers to reinforce the sense of identity and community of Hidden Hills. Colors of the various home components will be dark, complementing shaded desert vegetation. Textures will contrast rough against smooth to reinforce the community architectural elements found throughout Hidden Hills, while creating a sense of sophistication and visual strength.

1.3 Architectural Guidelines

Any and all modifications to existing architectural features or construction of new architectural features must be approved by the Architectural Committee (ARC) pursuant to the application and approval procedures outlined in these guidelines. This includes, but is not limited to, all alterations to or new construction of walls, fences, walks, driveways, built-in barbeques and exterior fireplaces, gazebos, patio covers, play equipment, security doors and equipment, solar screens, films, flag poles, garages, guest houses, awnings, room additions and other features.

The primary concern is preserving and enhancing community property values. The ARC strives to ensure esthetic integrity with architectural styles that complement and perpetuate existing design in the community, while attempting to fulfill each property owner's desires and needs. If something is done in violation of the CC&R's, it is the ARC's goal to assist in resolving the situation. This can include requiring changes or removal. Per the CC&R's, the ARC is hereby promulgating architectural guidelines, standards, and procedures to be used in rendering its decisions. Such

guidelines, standards, and procedures include, without limitation, provisions regarding:

- I. Architectural design, with particular regard to the harmony of the design with the surrounding structures and topography;
- II. Requirements concerning exterior color schemes, exterior finishes and materials;
- III. Signage;
- IV. Pools, spas, water features, perimeter and screen walls and appearance thereof.

The decision of the ARC shall be final (subject to the review by the Hidden Hills Board of Directors if requested by the homeowner) on all matters submitted to it pursuant to this Declaration.

To the maximum extent possible, the ARC does not wish to infringe on a property owner's right to maintain his or her home. To that end, the ARC has drawn up a "Reasonable Homeowner Test" that homeowners should apply to any projects affecting their property before proceeding. When in doubt, please ask the ARC for guidance.

- Does the project comply with the CC&R's?
- Is it reasonable to the typical homeowner?
- Is it consistent with the neighborhood?
- Is it unobtrusive to your neighbor?
- Does it enhance the value of your property without harming your neighbor's or community values?
- Is the project merely maintenance?

If your project meets the above "Test" (you can answer yes to all) then it is likely that the ARC will approve your request for property changes.

1.3.1 Projects That DO NOT Require ARC Approval

- Replacing a plant with the same type.
- Routine maintenance of existing sprinkler/drip systems.
- Routine maintenance of existing structures, sidewalks, and fences.
- Routine pruning and shaping of existing plants and shrubs.
- Repainting of existing fence in the same color. ARC approval is required for painting of all houses—See "Painting" below).
- Routine maintenance of existing exterior building and shrubbery lighting.
- Routine maintenance of existing walkway lighting.
- At-grade projects in your backyard unless visible from neighboring property.
- Storage sheds less than six feet and not visible from neighboring property.

1.3.2 Definition of "Visible From Neighboring Property"

An object is visible from a neighboring property if the object can be seen above a six (6) foot wall by a person standing at ground level on the neighboring property. (For these purposes, it is assumed that the wall is solid, even if it is in fact wrought iron view fencing.)

1.3.3 Projects That ALWAYS Require ARC Approval

Projects, including but not limited to, the following, ALWAYS require ARC approval:

- Additions or alterations to existing patio covers
- Awnings
- Basketball nets/goals
- Changes to the roof or roof lines
- Concrete coatings that are visible from the front or side yards
- Flags and flag poles
- Gates
- Gazebos
- Guest houses
- Gutters
- Landscape Changes—see § 2.21
- Repainting house—ARC approval is required for painting all houses, even if repainting in the existing color—see § 2.22
- Screen rooms
- Security/Screen doors
- Storage sheds over six feet tall visible from neighboring property
- Walkways
- Walls and fences

If you wish to do something to your property, it is recommended that you check with the ARC prior to committing to any work or contracts. It is much easier, faster and cost-effective to get prior approval for anything that changes the appearance of your property. The ARC will be happy to review any plans you may wish to undertake. The Architectural Review Submittal form (ARS) is attached to these Guidelines and additional copies may be obtained from the Management Company or online at www.amcorprop.com.

NOTE: It is the ARC's responsibility to investigate and assist in the resolution of any complaints relating to the esthetics of any property in Hidden Hills.

If your changes affect your neighbors and they complain, the ARC is required to assist in resolution of the issue. When in doubt, check with the ARC.

1.3.4 Additions and Alterations

ARC approval of any construction, installation, addition, alteration, change, or other work pursuant to these Design Guidelines shall not be deemed a warranty nor representation by the ARC as to the quality of such construction, installation, addition, alteration, change, or other work or that such construction, installation, addition, alteration, change, or other work conforms to any applicable building codes or federal, state or local law, statute, ordinance, rule or regulation.

COMMUNITY LIVING

2.1 Accessory Buildings and Storage Sheds

Accessory buildings and storage sheds detached from the main residence cannot be higher than six (6) feet or the property fence, whichever is lower) and cannot be visible from adjacent properties. The color of accessory buildings or storage sheds must match the color of the house.

2.2 Address Identification

Each home shall have its street number displayed either on the residence or on the mailbox.

House numbers may be painted on the curb in front of the home.

2.3 Awnings

Awnings are permitted if compatible with the color and architectural character of the residence. Awnings shall be of fabric construction. No metal awnings are allowed. Awnings shall be repaired or replaced when, at the discretion of the ARC, they begin to show signs of deterioration.

2.4 Barbeques, Chimneys, Firepits and Exterior Fireplaces, Skylights

Permanent built-in barbeques, fire pits or fireplaces are allowed in developer home-sites and/or if located within the development envelope of any custom home lot (in private areas only) and must be contained within a patio or courtyard. Chimney elements must be located and sized so as not to obstruct views from adjacent properties.

Barbeques, fire pits or fireplaces must be set back a minimum of ten (10) feet from adjacent property lines and may not exceed a height of two (2) feet above adjacent wall(s). All barbeques, fire pits and fireplaces must be finished with materials and colors that match the home.

Owners shall provide natural gas or propane for each fireplace. All fireplaces shall meet the requirements of all governing authorities, including the Environmental Protection Agency, State of Arizona, City of Scottsdale, and Maricopa County. All Chimneys shall have approved spark arrestors.

2.5 Basketball Goals and Backboards

Permanent basketball backboards may only be installed in side yards or rear yards (inside private areas within the development envelope on custom lots) where they will not be readily visible from neighboring properties. Such backboards are specifically prohibited from being installed alongside driveways. Portable basketball backboards may be used within the development envelope and must be placed in enclosed storage when not in use.

2.6 Color and Reflectivity

Exterior colors are to be selected to blend with their natural environment. Muted desert tones selected to blend with the vegetation and/or surrounding mountains, with limited use of accents and low reflectivity values should be selected. Colors shall have a LRV of 40 or less. Appropriateness of exterior colors shall be determined by the ARC.

2.7 Concrete Coatings

Concrete coatings on driveways and walkways visible from the street and/or neighboring property must be approved by the ARC prior to installation.

Considerations include location and color. Colors should match or complement the color of the home and neighborhood.

2.8 Dog Runs

Dog runs may be permitted when placed in a location that does not create an audible, visual, or other nuisance and are subject to review and approval by the ARC.

2.9 Double Gates

Double Gates may be installed to allow more convenient access to rear yards. Double gates may be of the same type, design and color as originally installed, or the homeowner may submit a request for an alternative design. The gates should not exceed the height of the adjacent walls. A double gate must be approved by the ARC prior to construction.

2.10 Exterior Building Materials

Exterior building materials should be selected to harmonize with their natural landscape. Stone, stucco, integrally colored or painted slump block, adobe block, or integrally colored concrete block should be the predominant exterior wall material. These materials hold up well in our desert climate and provide desirable texture and add scale to the homes.

Wood or vinyl sidings are inappropriate as the predominant exterior material and are prohibited.

2.11 Exterior Architectural Lighting

It is the intent of these guidelines to enhance the nighttime desert views by eliminating the glare caused by the direct observance of light sources (light bulbs). All lighting must comply with City of Scottsdale standards. Recessed down lights are encouraged at residence entries and patios. Surface mounted light fixtures shall have shielded light sources with bulbs or tubes not directly visible. Wall or eave-mounted floodlights, including motion sensed lighting, are prohibited.

When exterior lights are shielded only with translucent glass, light sources shall be low in intensity to reduce objectionable glare and/or light pollution. Per City of Scottsdale zoning requirements, low intensity lighting must be used.

Homeowners should apply the “Test” questions found in § 1.3 when changing or adding any exterior lighting. Caution must be taken to avoid offending neighboring homeowners. Complaints involving exterior light will be resolved with the assistance of the ARC. Resolution may include changing the location, changing alignment, and /or removal of the exterior lighting. If you have questions, please contact the ARC.

2.12 Exterior Stairs and Railings

Exterior stairs and guardrails shall be designed to integrate with the main residence in material and architectural character. Freestanding exposed circular or straight metal stairs are prohibited.

2.13 Fences

All fencing adjacent to the Common Areas, NAOS, etc. and constructed of a combination of wrought iron on top of a masonry block base shall not be altered in any way without ARC approval, except for normal repairs and maintenance. Any alteration approved by the ARC must comply with City of Scottsdale requirements.

2.14 Flags and Flagpoles

Flagpoles may be installed, with prior approval of the ARC, on developer lots

or when placed within the development envelope of custom homesites. ARS § 33-1808 provides that “The outdoor display of the American flag by an association member on that member’s property is permitted if the flag is displayed in a manner consistent with the Federal flag code.” The following is applicable:

- I. No flagpole shall exceed the height of the home’s rooftop.
- II. Flags shall be taken down at night unless lighted. If the flag is lighted, such lighting must be approved by the City of Scottsdale consistent with the Municipal Code and permitting requirements. The approval by the City of Scottsdale must be submitted to the ARC.
- III. The color of the flagpole shall be compatible with the residence.

2.15 Garages

All vehicles must be parked or stored within the home’s garage or on a paved driveway. All oversized vehicles (exceeds seven feet in height or eighteen feet in length) must be parked or stored in the garage. There will be no outdoor parking (on the driveway or in front of the house) of recreational vehicles or boats.

2.16 Garage or Yard Sales

Garage or yard sales are permitted to be held on the homeowner’s property during normal daytime hours of 7:00 AM to 5:00 PM. Signs may be placed on the common area and must be removed at the end of the sale. The sale may not continue for longer than two consecutive days. A homeowner may not conduct

more than two sales per calendar year. The homeowner is responsible for ensuring that no nuisance is created and is required to clean up immediately after the sale is concluded, including any debris left by visitors attending the sale.

If the sale is to be held in a gated area of Hidden Hills, the resident sponsoring the sale is required to contact Safeguard Security to get a temporary code, or must provide a telephone number for individuals to use to gain admittance. No permanent gate code may be posted on signs or at the gate entrance.

2.17 Gazebos, Pergolas, and Similar Structures

Gazebos, pergolas, and similar structures will not exceed a height that compromises your neighbors’ privacy. Gazebo, pergolas, and similar structures must be of wood construction compatible with existing wood trim or materials matching the house. Vertical supports may be of compatible stucco, masonry, or stone.

The following materials may not be used for the construction of gazebos, pergolas, and similar structures:

- Metal or prefabricated structures of metal
- Corrugated plastic
- Corrugated fiberglass
- Plastic webbing, split bamboo, reeded or straw-like materials
- Flat plastic panels
- Composition rock
- Glass
- Tile

Gazebos, pergolas, and similar structures shall have a form matching or compatible with existing roof lines. Horizontal and vertical surfaces shall be stained or painted to match colors used on the house, or properly sealed with a marine varnish to properly maintain wood finish.

In designing a gazebo, pergola, and similar structure, the homeowner should minimize intrusion upon a neighbor's view or privacy to the maximum extent practical.

2.18 Ground Mounted Equipment

Ground mounted mechanical, electrical, swimming pool or other equipment shall be placed adjacent to the residence and shall be screened with masonry walls to mitigate their audible and visual impact on adjacent properties.

2.19 Guest Houses

Guest houses shall be designed to visually relate to the main residence in massing, building material usage and architectural character. Guest houses shall comply with all requirements of applicable Federal and state laws or local ordinances, including City of Scottsdale Zoning Ordinance, and must be approved by the ARC.

2.20 Gutters and Downspouts

Gutters and downspouts are permitted to be installed with ARC approval, provided that the color of the gutters and downspouts matches the color of the surface to which they are affixed.

2.21 Holiday Decorations

Seasonal decorations are not subject to ARC review and approval, provided that they:

- do not cause a nuisance
- are not in place more than 30 days prior to the holiday, and
- are removed less than 15 days following the holiday.

The ARC reserves the right to require the removal of any seasonal decorations which are a nuisance or do not meet the community-wide standard.

2.22 Landscaping and Lot Maintenance

The ARC must approve homeowner landscaping plans and changes (other than replacing dead plants with similar species consistent with the approved plant list in § 3.5) except as provided below.

The rear yard landscaping, if not visible over the walls surrounding the property, generally does not require ARC approval as long as selected species are consistent with the approved plant list in § 3.5.

2.23 Painting

ARC approval is required for painting of all houses, **even if** repainting in the existing color. Exterior colors are to be selected to blend with their natural environment. Muted desert tones should be selected to blend with the vegetation and/or surrounding mountains, with limited use of accents and (LRV) of 40 or less. All exterior colors must be approved by the ARC.

2.23.1 Painting-Developer Homes

Residents who are repainting their homes due to fading or repairs should follow the procedures below:

- I. Select a color or colors from the approved paint schemes that are on the Hidden Hills website — www.amcorprop.com.
- II. The color of your house must be different from the color of adjacent houses.
- III. Each Color Scheme provides a body color, and usually two trim colors. You may select **either, but not both**, of the trim colors, and you must designate specifically where on your house you wish to use the trim color— e.g., under the roof line, on wrought iron fixtures, architectural pop outs, etc.
- IV. The coach or sconce lights found near the garage doors and/or on other walls of the residence may be painted the body color or a trim color.
- V. Garage doors, other than wooden or fiberglass doors, **MUST** be painted the body color.
- VI. A sample of the body and trim color(s) selected must be painted on the house, preferably on a corner, so that a member of the ARC can see the color in sunlight and shade, prior to approval of the request.

You must advise AMCOR Property Professionals, Inc. when the painting of the house has been completed so that a final inspection can be scheduled.

For developer homes, the painting of fencing and walls does not require ARC approval. The approved colors are shown in Exhibit “B” or on the Hidden Hills website www.amcorprop.com.

2.23.2 Painting-Custom Homes

For Custom Homes, repainting requests should must be submitted to the ARC.

Please see Custom Home Design Guidelines below.

2.24 Play Equipment

Children’s play equipment shall not be installed unless approved by the ARC. All play equipment must be located in the rear or side yards of any lot (inside the private area of custom lots).

Equipment shall not exceed eight (8) feet in total height. Equipment shall be painted to match the residence or shall have a natural wood finish. Any canvas awnings or canopies shall be in a color compatible with the color scheme of the residence, and may not be in colors such as red, yellow, blue, orange or green. No flags are allowed. Landscaping is to be installed around play equipment to provide shade and screening.

Play equipment shall be set back a minimum of ten (10) feet from adjacent property lines to protect the privacy of adjacent residences. Raised platforms may not exceed six (6) feet in height. Telescopes, lights or other appurtenances affixed to play equipment that may affect the privacy of adjacent neighbors are prohibited.

2.25 Refuse and Recycling Containers

Refuse and Recycling containers (the black and pink barrels respectively, provided by the City of Scottsdale) must be kept clean, sanitary and free of noxious odors and stored in an area that is not visible from the front of the house or neighboring properties. The containers should be placed in front of the house on collection days (currently Wednesdays for Refuse [black barrel] and Fridays for Recycling [pink barrel] no earlier than 6:00 p.m. the night before collection, and removed as soon as possible after collection, but no later than 6:00am the day after collection. Please contact the City of Scottsdale to replace any damaged containers, especially if missing lids.

If a dumpster or similar container is needed for a construction job, and is anticipated to remain on the property for a period of time greater than three (3) days, please contact the Community Manager.

Once each month, the City of Scottsdale has a brush and bulk collection. Hidden Hills is located in Area 2. The schedule is on the City's website at www.scottsdaleaz.gov/recycle/brushmap. Please have your items out for collection no later than 5:00 a.m. on the Monday of scheduled service. Residents cannot place brush or bulk items out for collection more than seven days prior to the Monday of the scheduled week of collection.

If you are unable to comply with these requirements because of extraordinary circumstances, please contact the Community Manager in advance.

2.26 Roof-Mounted Equipment

Roof mounted equipment, including but not limited to skylights, vents, turbines, air conditioning units, heaters, antennae, is prohibited, UNLESS specifically approved by the ARC .

2.27 Roofs

Roof materials are a very important element of the built environment at Hidden Hills due to their visibility from numerous viewpoints within and outside the community. Roofs may be "flat" or sloping. Sloping roofs may not exceed a 5:12 pitch.

The use of flat or curved concrete roof tiles is encouraged. Tile color should be compatible with the desert. Tiles shall not have any type of glazed finish that creates reflectivity. Clay barrel tiles may be used if they are provided with a variegated or pinto color finish. Metal roofing, either pre-finished or natural weathered copper, with standing seams or battens to minimize "oil-canning" and increase texture, may be used. Wood shingles, wood shakes, and asphalt shingle roofing is prohibited.

Flat roofs of foam or built-up roofing are acceptable. Foam roofs shall include sand in the finish coat and shall be colored to blend harmoniously with the home's wall color(s) and be of an LRV of 40 or less. Built-up roofing shall have a mineral cap sheet with darker colored granules or have gravel ballast with a color compatible with the wall colors (white is not permitted in either case).

2.28 Satellite Dishes

Every reasonable effort should be made to place a satellite dish in the most unobtrusive position possible, so as not to be readily visible from neighboring property, while ensuring an acceptable signal. The color of the dish should blend in as much as possible with the color of the house.

Satellite dishes are to be screened from view of adjacent properties with walls and/or landscaping and located in the rear yard of the residence or within the private landscape area (inside the walled courtyard on custom home lots). Satellite dishes shall not be mounted on a front wall.

2.29 Security and Screen Doors

Security treatments at residences, such as screens, doors, and gates are subject to review and approval by the ARC due to their esthetic impact on the neighborhood. Steel or decorative iron bars may not be installed on the windows or doors of any residence without approval of ARC.

Security doors and gates visible from the street or neighboring properties are required to be color coordinated with the exterior color of the house.

Designs/patterns on these doors shall be compatible with the Hidden Hills theme. Homeowners should apply the "Test" questions found in § 1.3.

2.30 Short-Term Leases

Because of the entirely residential nature of Hidden Hills, short term rentals or leases of less than 30 days, may not be entered into by any homeowner. Such use is in violation of the City of

Scottsdale Zoning Ordinance and is deemed by the Board to be a nuisance and/or adversely affect the health, safety, or welfare of owners, or residents of Hidden Hills.

The names and contact information for all adult tenants residing in a home within Hidden Hills subject to a lease in excess of 30 days must be provided to the Community Manager within 10 days of execution of the lease. The homeowner remains responsible for any violation of the CC&Rs, Policies, or Design Guidelines committed by the tenant.

2.31 Signs

For the purpose of offering a home for sale or rent without using the services of a real estate agent or broker, a homeowner may place a temporary "For Sale by Owner" or "For Rent" sign ONLY in the front yard of the property. The sign must be 18" x 24" and made of metal. It must be mounted on a post or in a frame similar to those used by residential real estate companies. No paper or cardboard "For Sale" or "For Rent" signs may be placed anywhere on the property, including but not limited to the front yard, gate, door, walls or view fencing if visible from neighboring property, roadways, or the common area. Any sign used for a similar or related purpose must meet the requirements stated above.

2.32 Skylights

Skylights can provide objectionable light spillage and glare in the desert night sky, and are therefore discouraged. If proposed, skylights shall be screened from view of adjacent properties and require ARC approval.

2.33 Solar Collectors

Solar energy equipment shall be installed on the ground, roof, or on a building wall where not visible from adjacent properties, consistent with the law.

Solar equipment shall be mounted in a fashion compatible with the residence's architectural character.

2.34 Tennis Courts And Sports Courts

Tennis courts, sports courts or similar improvements may not be constructed without the prior written approval of the ARC. Such courts must be within the development envelope where they will not be readily visible from neighboring properties. If determined appropriate by the ARC, such courts must be fenced and screened. Court lighting is prohibited.

2.35 Variances

The ARC, at its discretion and in appropriate circumstances, may grant variances from the restrictions set forth in the Design guidelines, if it determines that:

- I. A restriction would create an unreasonable hardship or burden on a homeowner, or a change of circumstances since the recordation of the Declaration has rendered such restriction obsolete; and
- II. The variance will not have substantial adverse impact on other homeowners; and
- III. It is consistent with the high quality of life intended for the homeowners.

2.36 Walkways and Patios

All walkways that are visible from the street or visible to adjoining neighbors require ARC approval. At-grade backyard patio slabs do not require approval.

2.37 Window Treatments

Window solar shade screens are permitted so long as they are a color that is consistent and compatible with the home. Solar window film is permitted if the color is consistent and compatible with the home. Window film shall not be highly reflective. The following are prohibited:

- Natural or unpainted aluminum material or other reflective material.
- Paper, aluminum foil, bed sheets, or any other materials not specifically intended for the purpose of covering a window, whether temporary or permanent.
- Interior or exterior reflective material unless approved by the ARC.

2.38 Yard Art

Yard art includes, but is not limited to metal, glass, concrete, cloth, ceramic, plastic, clay, wood sculptures, human figurines, planters, animals, cars, or other manmade items that are in the front yard and/or visible from neighboring properties.

Yard art shall be in tones chosen to blend rather than contrast with the home and surroundings; and should be complimentary to the indigenous surroundings and façade of the home.

No planters or other yard art may be placed on developer home mailboxes. The ARC reserves final judgment on the appropriateness of the yard art, and may require removal of items based such factors as size, quantity, color, or location.

Yard art in back yards or not visible from neighboring properties does not require ARC approval.

Temporary holiday statues, artifacts, and other holiday decorative landscaping items may be allowed. See §2.21 above.

PROCEDURES

3.1 Submittal and Approval of An Architectural Request

An Architectural Request Form (Exhibit “B”) must be submitted to the Community Manager for **ALL** requests requiring ARC approval.

Within thirty (30) days of the receipt of a complete application (containing all necessary information determined necessary by the ARC), the ARC will issue a decision either approving, conditionally approving or disapproving the application. A fee of up to \$300 may be required, depending on the complexity of the project. The fee may be refunded if not needed for approval, or assurance of compliance with the terms of the ARC approval.

If the applicant has not been contacted within twenty-five (25) days of submittal of a completed application, the applicant should contact the Management Company regarding the status of the plans. The ARC reserves the right to

request additional information necessary to review an application.

Applicants are prohibited from beginning any work prior to obtaining a written response acknowledging approval of the application by the ARC. If the applicant has not received a response from the ARC within 30 days after a completed application has been submitted, the application is deemed approved, and the applicant may begin work.

PLEASE NOTE: Failure to submit an Architectural and/or Landscaping modification request and/or failure to comply with the conditions of approval by the ARC may result in a Notice of Violation, fines, assessments, liens or lawsuits.

Construction drawings and plans must be prepared in accordance with applicable building codes, if any, and in a professional manner. It is recommended that work involving major additions or work requiring variance be submitted at the preliminary drawing stage for review, to avoid unnecessary expenses. Final drawings should not be prepared until the preliminary plans have been reviewed by the ARC.

3.2 Review Criteria for Architectural Requests

Judgments of acceptable design are based on the following criteria consistent with the CC&Rs.

1. Relation to the natural environment
2. Conformity to the CC&Rs
3. Validity of concept
4. Design compatibility

5. Location and impact on neighbors
6. Scale, color, materials, workmanship, and timing

All determinations by the ARC to disapprove all or part of a request may be appealed to the Board at the next regularly scheduled Board Meeting.

3.3 City, State and Federal Requirements

It is the Homeowner's responsibility to obtain any and all required City permits, and ensure that the work is performed consistent with any applicable City, State, or Federal requirements. ARC approval of any project does not waive the necessity for the Homeowner to obtain the required approvals.

3.4 Where to Submit Requests

All requests must be in writing and submitted by mail or email to the Management Company for the Hidden Hills of Scottsdale Community Association.

Tonia Reynolds
AMCOR Property Professionals, Inc.
16441 N. 91st Street, Ste. 104
Scottsdale, AZ 85260
tonia@amcorprop.com.

3.5 Right of Entry

Construction work may require the use of the common area or access to or from property not owned by the applicant for the purpose of transporting labor or materials, or for the temporary storage of materials for the work. If this is the case, the applicant **MUST** obtain

written permission from the Hidden Hills of Scottsdale Community Association and/or the homeowner(s) of the property to be accessed. A security deposit or bond, as deemed necessary by the ARC, may be required from the applicant. Unused deposits will be refunded after completion of the work and final approval by the ARC.

The homeowner is responsible for ensuring that any construction debris or residue is properly contained and disposed of during and after completion of construction.

3.6 Time Period for Completion, Final Review and Inspection

All work must be commenced and completed in a timely and workmanlike manner. If there is a delay in the commencement or completion of the work, the homeowner must notify the Management Company immediately upon learning of the delay, and the reasons for it.

Upon completion of the work, the applicant shall notify the Management Company and request the final review and inspection by the ARC.

If an inspection is deemed necessary by the ARC, the review and inspection will be completed within thirty (30) days of receipt of the request.

Failure of the homeowner to request inspection shall leave improvements subject to review indefinitely, and no portion of the application fee will be returned.

If the inspection shows that the work was not completed consistent with the

approved submittal, the Homeowner will be notified in writing by the ARC. The Homeowner will be allowed a specified period of time in which to correct all deficiencies and complete the work. The homeowner may be required to pay additional fees to cover additional inspections.

Homeowners shall be responsible for any damage caused to the streetscape, Common Area, other homeowners' property or open space as a result of the work that is performed. This includes, but is not limited to construction debris and other materials used in the work. All refuse must be removed from the community to an appropriate disposal area. No materials or debris may be stored in the front yard for more than 24 hours without approval of the ARC.

Under no circumstances shall any supplies, materials, or debris be unloaded or stored within the street right of way or the Common Area.

The homeowner is responsible for ensuring that no debris or stored material shall enter the storm drain system.

LANDSCAPE DESIGN GUIDELINES

4.1 Introduction

The following section of the Design Guidelines for Hidden Hills pertains to the residential landscape components of the community including permitted and prohibited plants, landscape lighting, water features, site grading and other landscape embellishments. This section includes guidelines and requirements for **developer home** neighborhoods as well

as the **custom home** neighborhoods within the community.

4.2 Landscape Design Philosophy

Hidden Hills of Scottsdale is located within the Environmentally Sensitive Lands (ESL) District of Scottsdale. This district was established by the City to protect and enhance the unique characteristics of the Sonoran Desert. These guidelines reinforce the principles of the ESL Ordinance.

The overriding philosophy of the guidelines is to establish an architectural and landscape character for the community that is harmonious with the natural desert environment. The landscape component of these guidelines requires that the homeowner and/or landscape designer provide a landscape design for all visible landscape areas of the homesite that appropriately relates to the local environment. To accomplish this goal, specific design and material requirements for developer and custom homes are described within this section of the guidelines.

4.3 General Requirements for Landscape Areas

Plant Material

Approved and prohibited plant and landscape material palettes for Hidden Hills have been created to establish continuity within the community and to create a harmonious relationship with the surrounding natural desert landscape. Those materials are referenced within Sections 4.15, 4.16, and 4.17 of the guidelines.

4.4 Site Grading

Landscape Grading. Landscape grading for aesthetic purposes shall complement the contours found in the surrounding natural landscape. Slopes must be gently rounded with varying side slopes. Maximum allowable slope is three feet horizontal for every one foot vertical (3:1). Grading shall be accomplished without sharp transitions or unnatural shapes. All proposed grading shall blend subtly with the adjacent natural terrain. Landscape grading must also be accomplished without interrupting established drainage elements such as natural wash corridors or established drainage easements.

Other Site Grading. Cut and fill slopes created as a result of site grading for the home, lot, driveway or other improvement must be mitigated as outlined in Section 5.4 of these guidelines. Further, visible cut or fill scars must be enhanced with landscape materials and grading techniques discussed later within this section. See § Sections 4.5, 4.6, and 4.7.

4.5 Developer Homes-Granite

In visible landscape areas such as front and side yards adjacent to a street, use of imported quarried granite is required. The homeowner and/or designer must use **1/2" or 3/4" minus sized Madison Gold decomposed granite** (minimum 2-inch thick application over entire landscape area). Use of screened decomposed granite in visible areas is prohibited.

4.6 Custom Homes-Granite

In visible landscape areas within the custom home neighborhoods (i.e.,

restored Natural Areas and Transition Areas), use of local native granite is required. The owner may stockpile material during construction for reuse during landscape installation. Screening the natural granite will create an unnatural appearance and is therefore prohibited. Use of imported quarried decomposed granite in visible locations is also prohibited.

4.7 Boulders and Rip-Rap

Boulders. Use of boulders in the landscape is encouraged to create a natural setting subject to the following criteria:

- Boulders must be "surface select" granite boulders.
- Boulders shall be installed in naturalistic manner (i.e., buried approximately one-third below grade) and integrated within the landscape including other boulders or landscape materials such as plants, decomposed granite and contouring.
- Boulders shall be a minimum size of one-half ton and maximum size of one and one-half tons unless approved by the ARC.
- If significant scarring of the boulder surface is present, the boulders should be placed to hide scarring or treated with a man-made desert varnish product such as Eonite or Permeon.

Rip-rap. Rip-rap may be used for erosion protection, storm-water management or aesthetic applications subject to the following criteria:

- Rip-rap must be crushed granite that matches or complements the decomposed granite used within the landscape area.

- Rip-rap may not be grouted unless necessitated due to erosion or drainage conditions (subject to the approval of the ARC).
- Maximum size of rip-rap cobbles shall be 12 inches in diameter unless erosion or drainage conditions require larger material (subject to the approval of the ARC).
- River run rock is prohibited.

4.8 Walls and Fences

All proposed walls and fences constructed on individual homesites must be constructed of a material, finish and color that complements the adjacent residence. Refer to the cuts and fills portion of Section 5.4 of these guidelines for additional wall and fence design criteria.

The ARC must approve any proposed modification or repair to visible walls or fences constructed by the developer. Additionally, homeowners may not add wire mesh to view fences within the community without approval of the ARC.

4.9 Landscape Lighting

Landscape lighting is allowed in Hidden Hills subject to the following criteria:

- Landscape lighting shall be low-voltage only.
- Landscape lighting must be controlled with an electric clock or photo-cell device.
- Light sources must be shielded from view.
- Fixtures must be constructed of metal. Plastic fixtures are prohibited.

- All wiring for light fixtures must be buried below grade per the manufacturer's requirements.
- Controller equipment must be located in a discrete location or screened from view from the street or adjacent property.

4.10 Pools, Fountains and Other Water Features

Visibility. Pools, fountains and other water features must be designed in a manner that screens the water from view from outside of the lot. Visible displays of water such as negative edge pools, waterfalls, or fountains require ARC approval. Water features that are screened with courtyard walls or other means may be approved by the ARC. Overflow gutters at negative edge pools shall be no more than 18 inches below the elevation of the main pool water level and require ARC approval.

Slides, diving boards or other accessories that are visible from adjacent properties or common areas require ARC approval.

4.10.1. Safety

Pools and other water features must conform to all city and county regulations.

4.10.2. Pool Equipment

All pool equipment must be appropriately screened from the view of adjacent neighbors or common areas with masonry walls. Pool equipment should be placed adjacent to the residence in a location that minimizes noise impacts to adjacent neighbors.

4.10.3 Other Requirements

Pool and spa deck must be setback a minimum of five (5) feet (or consistent with the City of Scottsdale requirements) from the adjacent property line fence or wall to provide an adequate landscape planting area between the deck and adjacent fence or wall.

4.11 Hardscape Areas

Custom designed hardscape elements such as sidewalks, patios and pool decks are encouraged at Hidden Hills subject to the following criteria:

- Material and color of proposed hardscape must be compatible with and complement the architectural character of the neighborhood and home.
- Material, color and texture of the hardscape should minimize solar reflectivity.
- Minimum width of visible hardscape elements shall be thirty-six inches.

4.12 Drainage

Developer Homes. Landscaping, filling or rerouting of existing natural washes or drainage easements could result in flooding, erosion or other undesirable situations. Therefore, disturbance to any natural wash corridor or designated drainage easement on or adjacent to a lot is prohibited. Pool backwashing is specifically prohibited into any common area, NAOS area, natural wash or drainage easement. See § Section 8.4 below.

Custom Homes. The lot configurations within the custom home neighborhoods have been developed to preserve the significant natural wash corridors that

exist within Hidden Hills. However, some minor desert washes may pass through or adjacent to the custom homesites. These existing desert washes should be maintained where practical to preserve the watercourse and the existing vegetation and habitat.

If a wash is situated in a location where it cannot be maintained, the applicant shall indicate the manner in which the storm water is to be redirected or managed. The site plan shall indicate appropriate engineering and an aesthetic means of integrating the proposed solution into the site.

4.13 Natural Area Open Space (NAOS)

The City of Scottsdale's ESL Ordinance requires the preservation of certain natural features within Hidden Hills. These Natural Area Open Space (NAOS) areas have been preserved in the form of easements or tracts throughout the community either in common areas or on individual lots. Refer to the recorded subdivision plats for the various Hidden Hills neighborhoods for exact locations of NAOS.

Within the developer home neighborhoods of Hidden Hills, these NAOS areas must remain undisturbed without exception.

In the custom home neighborhoods, NAOS may be included within common areas adjacent to lots as well as on individual lots. NAOS may be designated on individual custom homesites as established on the subdivision plat for each neighborhood

and/or as delineated by the proposed development envelope for a lot.

4.14 Landscape Design Requirements

Developer Homes

The visible portions of the yards within the developer home neighborhoods are subject to the following guidelines:

- The owner shall maintain all visible landscape areas in a clean, neat and weed-free condition.
- All dead and dying plants must be replaced with same species or other appropriate plants from the approved plant list.
- Turf is prohibited within front yards per the City’s ESL Ordinance unless it is located behind a courtyard wall.
- Any modifications to approved front yard landscape installations shall comply with the Landscape Design Requirements – Developer Homes section established below.
- Homeowners are required to maintain any landscaping located between the sidewalk and the back-of-curb in front and side yard areas where the sidewalk and curb are separated, if installed by the homeowner.

A pre-designed landscape plan has been provided for home buyers within the developer home neighborhoods. The plans were based approximately on the requirements presented below. Modifications or renovations to an existing front yard landscape area must conform to these requirements.

Front Yard Trees Required (minimum).

- (1) 36 inch box “street” tree from the approved plant list.
- (1) 24 inch box “street” tree from the approved plant list.

Note: All trees must be planted a minimum of three (3) feet from driveways, fences, walls, property lines and homes. In addition, trees must be planted a minimum of five (5) feet away from all sidewalks or from the back of curb if there is no sidewalk present.

To ensure similar density and coverage of plant material for all production home-sites, the Landscape Design Requirements for shrubs, ground covers and accent plants are based on the actual area (square feet) of the front yard.

Shrubs.

- (1) 5 gallon shrub per 100 square feet of landscape area

Ground Covers.

- (1) 1 gallon ground cover per 65 square feet of landscape area

Accent Plants (Cactus and Succulents).

- (1) 5 gallon accent plant per 150 square feet of landscape area

Note: Granite boulders may be counted as an appropriate substitute for up to 50% of the required accent plants. The boulders must conform to the minimum size criteria established above.

Custom Homes

As presented in Section 5.3 of these guidelines, each custom lot consists of three areas: Natural Area, Transition Area and Private Area. The following information defines the intended visual character for each of the three areas.

- Natural Area.

Natural Area is defined as the area between the property line and the development envelope on each lot. This area is to remain in an undisturbed and natural state in perpetuity. Any temporary disturbance to the designated Natural Area must be revegetated to a condition that matches the density and variety of the adjoining natural area. The home owner or landscape designer must clearly identify any proposed disturbance to designated Natural Areas and appropriate revegetation measures. Hydro-seeding of disturbed Natural Areas is not permitted as the sole means for revegetation. All revegetated Natural Areas must be watered with a temporary underground irrigation system until plants are established.

A sample revegetation program has been prepared based on site samples performed at Hidden Hills and is included within Section 4.16 of this document. The homeowner or landscape designer must provide a similar density and variety of plants unless the subject site varies substantially from the revegetation program. The applicant must provide evidence that the subject site varies from the revegetation program if a different program is proposed.

- Transition Areas.

Transition Areas are defined as those areas that occur between the development envelope line and the building and/or patio walls. The general theme of the Transition Areas shall be compatible to the adjacent Natural Area character. If the Transition Areas are disturbed during construction, they shall be revegetated with plants and other materials that replicate the adjacent natural desert setting. Refer to the Approved Plant List in Section 4.15. All Transition Areas must be watered with a temporary underground irrigation system until plants are established.

Private Areas.

Private Areas are those areas that occur within the confines of courtyard or patio walls. The homeowner or landscape designer may use plants and other materials that complement the lifestyle of the owner and the character of the home. **The City's ESL Ordinance prohibits the use of non-native plants that exceed a height of twenty-feet.** Additionally, Section 4.17 identifies materials that are prohibited from use within all areas of Hidden Hills.

4.14.1 Irrigation

All newly installed plant material (with the exception of cactus) shall be watered with an automatic underground irrigation system. Irrigation systems should be designed to accommodate a temporary watering schedule for any native plants installed within the landscape.

Native shrubs: (Approx) One Year*
Native trees: (Approx.) Three Years*
Non-native shrubs and trees— As
Necessary to Maintain Plant

(* or until established.)

Extended or over-watering of native plants may result in the death of the plant, excessive maintenance and/or poor growth habits.

4.14.2 Rear Yards – Minimum Requirements

The following minimum improvements are required for all homes in Hidden Hills:

- Improvements must be installed within 120 days of close of escrow.
- Minimum Finished Condition:
 - 100% coverage with Turf or Decomposed Granite
 - (1) 24 inch box tree per 2,000 square feet (min.)
 - (3) one gallon shrubs per 2,000 square feet (min.)
 - Irrigation System
- Long term storage of building materials, tools and construction equipment is not permitted in locations that are visible from off-site.

4.15 Approved Plant List

The following materials are pre-approved for use in all neighborhoods within Hidden Hills:

TREES

COMMON NAME	BOTANICAL NAME	ALLOWED
Mulga Acacia	Acacia aneura	Yes
Sweet Acacia	Acacia farnesiana	Yes
Palo Blanco	Acacia willardiana	Yes
Palo Brea	Cercidium praecox	Yes
Blue Palo Verde (1.)	Cercidium floridum	Yes
Foothill Palo Verde (1.)	Cercidium microphyllum	Yes
Desert Museum Palo Verde	Cercidium hybrid	Yes
Desert Willow	Chilopsis linearis	Yes
Chitalpa Tree	Chitalpa tashkentensis	Yes
Fern of the Desert	Lysiloma thornberi	Yes
Ironwood Tree (1.)	Olneya tesota	Yes
Texas Ebony	Pithecellobium flexicaule	Yes
Argentine Mesquite	Prosopis alba	Yes
Chilean Mesquite	Prosopis chilensis	Yes
Arizona Mesquite (1.)	Prosopis velutina	Yes
Mescal Bean	Sophora secundiflora	Yes

SHRUBS

COMMON NAME	BOTANICAL NAME	ALLOWED
Giant Bursage	Ambrosia ambrosioides	Yes
Bursage	Ambrosia deltoidea	Yes
Desert Milkweed	Asclepias subulata	Yes
Centennial Baccharis	Baccharis "Centennial"	Yes (2.)
Bougainvillea	Bougainvillea species	Yes (3.)
Woolly Butterfly Bush	Buddleia marrubifolia	Yes
Birds of Paradise	Caesalpinia species	Yes (2.)
Fairy Duster	Calliandra species	Yes
Littleleaf Cordia	Cordia parvifolia	Yes (2.)
Dalea	Dalea species	Yes (2.)
Brittlebush	Encelia farinosa	Yes
Mormon Tea	Ephedra trifurca	Yes
Chuparosa	Justicia californica	Yes
Desert Honeysuckle	Justicia specigera	Yes
Creosote Bush	Larrea tridentata	Yes
Violet Silver Leaf	Leucophyllum candidum	Yes (2.)
Chihuahuan Sage	Leucophyllum laevigatum	Yes
Deer Grass	Muhlenbergia species	Yes (2.)
Bear Grass	Nolina microcarpa	Yes
Sugar Bush	Rhus ovata	Yes
Ruellia	Ruellia species	Yes (2.)
Salvia	Salvia species	Yes
Jojoba	Simmondsia chinensis	Yes
Arizona Yellow Bells	Tecoma stans	Yes (2.)

GROUND COVERS

COMMON NAME	BOTANICAL NAME	ALLOWED
Sand Verbena	Abronia villosa	Yes
Bursage	Ambrosia deltoidea	Yes
Saltbush	Atriplex species	Yes
Desert Marigold	Baileya multiradiata	Yes
Fairy Duster	Calliandra species	Yes
Brittlebush	Encelia farinosa	Yes
California Poppy	Eschscholtzia mexicana	Yes
Turpentine Bush	Ericameria laricifolia	Yes
Lantana	Lantana species	Yes ^(2.)
Primrose	Oenothera species	Yes
Penstemon	Penstemon species	Yes
Globe Mallow	Sphaeralcea ambigua	Yes
Angelita Daisy	Tetranneuris hymenoxys	Yes
Verbena	Verbena species	Yes

ACCENTS (CACTUS AND SUCCULENTS)

COMMON NAME	BOTANICAL NAME	ALLOWED
Agave	Agave species	Yes ^(2.)
Aloe	Aloe species	Yes ^(2.)
Saguaro Cactus	Carnegiea gigantea	Yes
Green Desert Spoon	Dasyllirion longissimum	Yes ^(2.)
Desert Spoon	Dasyllirion wheeleri	Yes ^(2.)
Golden Barrel Cactus	Echinocactus grusonii	Yes ^(2.)
Hedgehog Cactus	Echinocereus species	Yes
Barrel Cactus	Ferocactus wislizenii	Yes
Ocotillo	Fouquieria splendens	Yes
Giant Hesperaloe	Hesperaloe funifera	Yes ^(2.)
Red Yucca	Hesperaloe parviflora	Yes ^(2.)
Cholla	Opuntia species	Yes
Native Prickly Pear	Opuntia phaeacantha	Yes
Banana Yucca	Yucca baccata	Yes
Soaptree Yucca	Yucca elata	Yes

Footnotes:

1. Designated “street” tree for use in production home neighborhoods for front yard requirements as discussed in Section 4.14 above.
2. In the custom home neighborhoods, these plants are not permitted for use in designated NAOS (Natural Area Open Space) and/or NAOS revegetation areas of the yard.
3. Bougainvillea is only permitted within areas of the yard that are contained by a wall or view fence.
4. Other desert appropriate plants may be permitted by the HOA with prior approval if they are deemed to be low-water use, low pollen producers, non-invasive, etc.
5. Note that the City of Scottsdale ordinances, codes and/or other regulations may be more restrictive than the Hidden Hills Design Guidelines.

4.16 Revegetation Program

The Hidden Hills site was surveyed to determine the approximate density and variety of existing plants present on the site. The following table represents the results of that survey and the general requirements for the revegetation of disturbed Natural and Transition Areas within the custom home neighborhoods.

Plant Type	Plants per 1,000 s.f.
• Native Palo Verde.....	1
• Ocotillo or Saguaro.....	1
• Barrel Cactus.....	1
• Hedgehog Cactus.....	1
• Staghorn or Teddy Bear Cholla	5
• Creosote Bush.....	2
• Brittlebush.....	5
• Bursage	35
• Mormon Tea, Jojoba or Chuparosa	1
• Turpentine Bush	1

The primary objective of the revegetation program within the custom home neighborhoods is to match and blend with the adjacent natural areas. The homeowner and/or landscape designer are to use the above list and stated plant densities as a guide for restoring disturbed areas.

Note: It is the applicant's responsibility to provide evidence that the subject site varies from the Revegetation Program if a different program is proposed.

4.17 Prohibited Landscape Materials List

The following materials are prohibited from use within Hidden Hills:

Plants	Remarks
• Palm Trees.....	Exception: palms that are located in private areas of the rear or side yard or enclosed courtyards are acceptable IF they cannot be seen from the front of the house, AND are not visible from a neighboring property as provided in §1.3.2 above
• Acacia species	Except as provided within the Approved Plant List (Section 3.5)
• Pine Species	All
• Eucalyptus species	All
• Cypress species.....	All
• Olive Trees.....	All
• Citrus	Exception: Dwarf varieties that are located in private areas of the rear yard are acceptable.
• Mexican Palo Verde	All
• Cottonwood Tree	All
• Juniper species	All
• Fountain Grass	All
• Desert Broom.....	All
• Oleander	Exception: Dwarf varieties that are located in private areas of the rear yard are acceptable.
• Common Bermuda Grass	Hybrid varieties that are located in private areas of the rear yard are acceptable.
• Any plant not indicated on the Approved Plant List (Section 4.15) that will be visible in a mature state from outside the lot, unless the plant has been approved in advance by the Architectural Committee.	

Note: Non-native plants that exceed twenty feet in height are prohibited within Hidden Hills pursuant to the City's Environmentally Sensitive Lands Ordinance.

Other Prohibited Material

-
- Polyethylene film under desert landscape areas.
 - Steel, scalloped concrete or wooden headers or borders.
 - Colored rock other than that described in Section 3.3.
 - River Run Rock.

4.18 City of Scottsdale Protected Plant List

The following plants are protected by the City of Scottsdale's Native Plant Ordinance and may not be pruned, salvaged or destroyed without approval from the City.

<u>Botanical Name</u>	<u>Common Name</u>
• <i>Acacia constricta</i>	White Thorn Acacia
• <i>Acacia greggii</i>	Catclaw Acacia
• <i>Canotia holocantha</i>	Crucifixion Thorn
• <i>Carnegiea gigantea</i>	Saguaro
• <i>Celtis reticulata</i>	Hackberry
• <i>Cercidium floridum</i>	Blue Palo Verde
• <i>Cercidium microphyllum</i>	Foothill Palo Verde
• <i>Chilopsis linearis</i>	Desert Willow
• <i>Ferocactus</i> species (some)	Barrel Cactus
• <i>Fouquieria splendens</i>	Ocotillo
• <i>Olneya tesota</i>	Ironwood
• <i>Populus fremontii</i>	Cottonwood
• <i>Prosopis</i> species (some)	Mesquite
• <i>Quercus</i> species (some).....	Scrub Oak
• <i>Vauquelinea californica</i>	Arizona Rosewood
• <i>Yucca elata</i>	Soaptree Yucca

4.19 Hidden Hills Landscape Compliance Worksheet

Developer Homes – Front Yard

Owner Information:

Date:

Name Parcel Name/No.
 Address Lot Number
 City/State/Zip L/S Designer
 Phone L/S Contractor

Plans Required:

Front yard landscape plans must be submitted with this application. All drawings must be drawn to scale and indicate any improvements (existing and proposed) on the subject lot. Plans should also include appropriate notes, symbols and legends to clearly identify all existing and proposed materials including paving, lighting, plants or other design elements.

Landscape Compliance. Please fill in the following information:

Approximate front yard landscape area* square feet.

Plant Type	Min. Size Required	Rate Required	Required Quantity	Provided Quantity
Street Tree	36" Box	1	_____	_____
Street Tree	24" Box	1	_____	_____
Shrubs	5 Gallon	1:100 s.f.	_____	_____
Ground Covers	1 Gallon	1:65 s.f.	_____	_____
Accents	5 Gallon	1:150 s.f.	_____	_____

* Front yard landscape area is defined as the area between the sidewalk or street and the home not including any hardscape areas (walks, driveways, etc.)

Additional Information:

Do proposed trees comply with the Hidden Hills setback requirements? Yes / No (circle one)

- Minimum five feet from drives, fences, walls, property lines and homes.
- Minimum eight feet from adjacent sidewalk or back of curb (if no sidewalk is present).

Additional Notes:

- All front yard landscape areas must be covered with decomposed granite or other approved material per the landscape guidelines.
- All front yard landscape areas must be irrigated per the landscape guidelines.

Note: Non-native plants that exceed twenty feet in height are prohibited within Hidden Hills pursuant to the City's Environmentally Sensitive Lands Ordinance.

4.20 Hidden Hills Landscape Compliance Worksheet

Custom Homes Revegetation Program

Owner Information:

Date:

Name Parcel Name/No.
 Address Lot Number
 City/State/Zip L/S Designer
 Phone L/S Contractor

Plans Required:

Front yard landscape plans must be submitted with this application. All drawings must conform to the requirements stated in Section 3.4 of these guidelines

Landscape Compliance. Please fill in the following information:

Approximate area of disturbance to be revegetated square feet (s.f.).
 (include all disturbed Natural and Transition Areas)

Revegetation Requirements:

Plant Type	Min. Size Required	Plants per s.f. Required	Required Quantity	Provided Quantity
Native Palo Verde	36" Box	1:1,000	_____	_____
Ocotillo or Saguaro	8' Height	1:1,000	_____	_____
Barrel Cactus	12" Diameter	1:1,000	_____	_____
Hedgehog Cactus	6-head	1:1,000	_____	_____
Staghorn or Teddy Bear Cholla	18" Height	5:1,000	_____	_____
Creosote Bush	15 gallon	2:1,000	_____	_____
Brittlebush	1 gallon	5:1,000	_____	_____
Bursage	1 gallon	35:1,000	_____	_____
Mormon Tea, Jojoba or Chuparosa	5 gallon	1:1,000	_____	_____
Turpentine Bush	1 gallon	1:1,000	_____	_____

Additional Notes:

- All revegetated landscape areas must be covered with local on-site granite that matches and blends with adjacent natural areas per the landscape guidelines.
- All revegetated landscape areas must be irrigated per the landscape guidelines.

Note: Non-native plants that exceed twenty feet in height are prohibited within Hidden Hills pursuant to the City's Environmentally Sensitive Lands Ordinance.

CUSTOM HOME DESIGN GUIDELINES

5.1 Introduction

Each custom home design within Hidden Hills of Scottsdale shall strive to create harmony with its desert surroundings and to enhance its neighborhood streetscape.

The ARC will use the following criteria to evaluate the design appropriateness of a custom home:

- A) Is the design uniquely suited to its specific site?
- B) Does the design respect and enhance the views of its neighbors?
- C) Does the design contribute to a diverse and interesting street-scene?
- D) Does the design demonstrate multiple logically arranged building masses?

5.2 Development Envelopes (See figures 1 & 1A)

Each custom home lot has a pre-defined ***development envelope*** to help identify the optimum access to and location for each home. Envelopes have been established to maintain existing natural features, provide visual buffers of native landscape between properties, protect neighboring view corridors, and identify a suitable home-site area that requires the least amount of grading. **ALL** improvements (including the residence, patios, walls and fences, and swimming pools,) on each custom home lot shall

be contained within the development envelope. Driveway connections between development envelope and street are subject to review by the ARC. In no case will any parts of the residence be allowed within 15 feet of any side property line, or within 30 feet of any rear or front property line in Parcels B, D/E, and Phase II, Unit 3.

The owner may propose minor adjustments to the development envelope as part of the review process. Any adjustments shall be shown to comply with the subdivision's zoning setback requirements or as established in the amended development standards which apply to the subdivision, and to cause no negative impacts to existing natural features, privacy, view corridors, or overall character of the development.

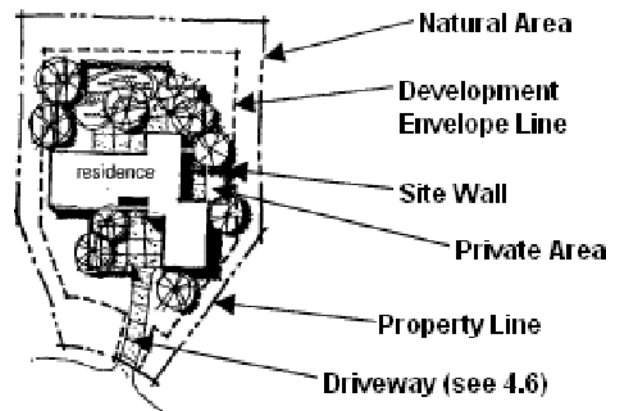


Figure 1a – Development Envelope for Parcel 1, Units B & D/E

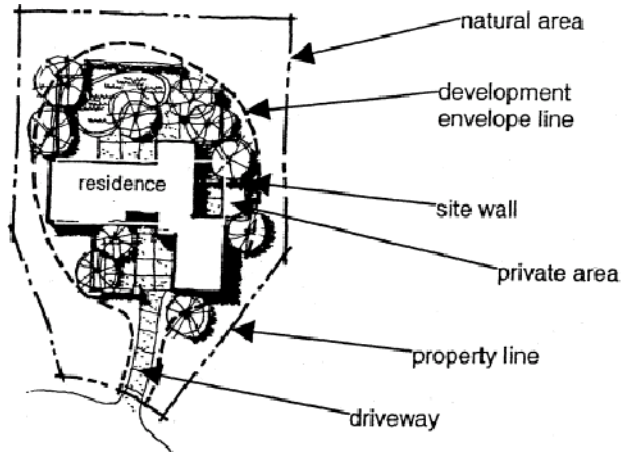


Figure 1b– Development Envelope for Parcel 3 (Phase II)

5.3 Lot Areas (See figure 1)

Each custom lot consists of three distinct area designations: **Natural Areas**, **Transition Areas**, and **Private Areas**. Each area designation should be carefully considered and incorporated into the design of the home.

The area between the Owner’s property line and the development envelope line is the **Natural Area** and shall be maintained or revegetated to a natural condition. The area between the development envelope line and the building walls is the **Transition Area**. The landscaped areas between site walls and the building which are not visible from neighboring properties are the **Private Areas**.

Refer to the Landscape Design Guidelines (Section 4.14) for further description and requirements in each landscape area designation.

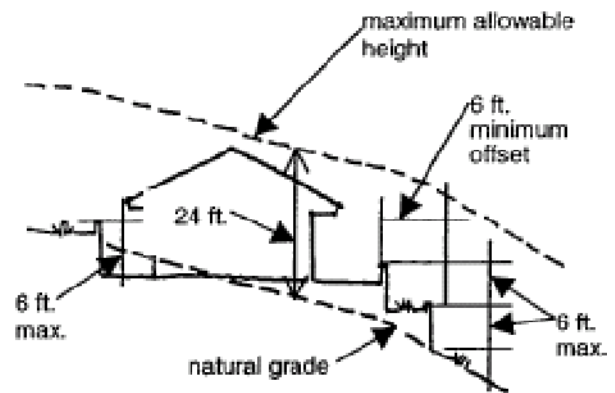


Figure 2 – Cut & Fill

5.4 Cut and Fill (See figure 2)

Each home design shall attempt to balance cut and fill quantities when grading on a sloping site. Multiple finished floor elevations within the home are encouraged to accommodate grade changes on the site. Exposed retaining walls, if required, shall not exceed six (6) feet in height and shall be finished to be compatible with the exterior material palette of the residence. When slope transitions are greater than six (6) feet, terraced retaining walls offset horizontally by a minimum of six (6) feet must be provided.

Every effort shall be made by the designer to minimize scarring of the natural hillsides. Exposed cut or fill slopes shall not exceed a slope of three feet horizontal to one-foot vertical (3:1) and shall not exceed six vertical feet from toe of slope to top of slope. Exposed cut or fill slopes shall be revegetated per Section 4.16 of these Guidelines.

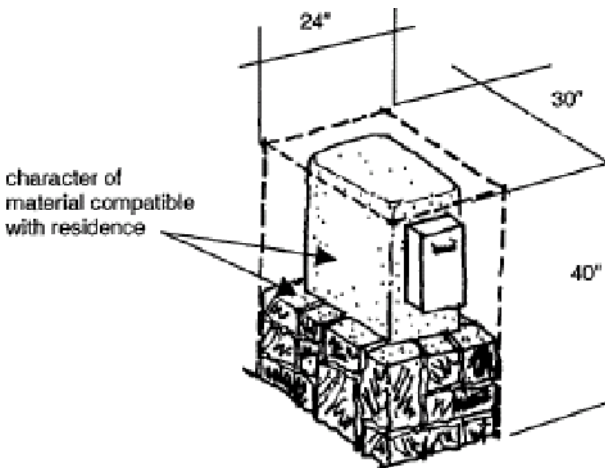


Figure 3- Custom Home Mailbox Size Limits

5.5 Mailboxes

Individual mailboxes shall be constructed to be visually compatible with the residence.

Freestanding light gauge sheet metal boxes on posts are not allowed. Mailbox sizes shall be limited in size as described on figure three (3).

5.6 Driveways

Circular driveways are prohibited when located entirely within the front yard setback/development envelope. One of the guiding principles at Hidden Hills is the use and protection of natural desert landscaping in front, side and rear areas at each residence. Circular driveways create excessive amounts of paving in the front yard. Circular driveways may be proposed where adequate space is available within the lot. Curb cuts at each end of circular drives may not exceed 12 feet in width.

Custom home driveways and parking area(s) shall be constructed of unit pavers, integral color concrete, exposed

aggregate, textured concrete, natural stone or other “decorative” paving materials. Standard gray concrete or asphalt driveways are not allowed. Driveways shall be a maximum of 16 feet wide at the curb.

Since residential street parking is prohibited in Hidden Hills, a minimum of two on-site guest-parking spaces shall be provided for each custom residence. Consideration shall be given to the guest arrival experience when locating sidewalks and landscaping to and around the home’s front door.

5.7 Architectural Character

It is not the intent of these guidelines to mandate a particular architectural style for the custom homes at Hidden Hills. Diversity of design will enhance the overall character of the custom home neighborhoods, and individual creativity is encouraged. Residences should be designed to reflect and maintain the overall quality of the community.

The desert climate encourages the use of deeply recessed openings within walls for sun protection. Outdoor spaces with full and partial shading are also encouraged to maximize the opportunities for outdoor living. Low sloping rooflines with deep overhangs enhance the sun protection and create texture and interest in the shadow patterns created.

Definable architectural styles such as French Country, English, Colonial, etc. are prohibited due to their excessive height and their inappropriateness to our arid southwest environment.

Homes will be visible from many vantage points and should be designed

with equal attention paid to each side. Custom homes will often also be visible from ascending homesites. In general, sloped roofs are preferable when viewed from above and flat roofs are preferable when viewed from below.

5.8 Minimum Size

Each residence shall provide a minimum of 3,000 square feet of livable space, and shall include an enclosed garage for at least three cars.

5.9 Height (See figure 3)

Building heights are calculated as the difference between the top of any roof or parapet and the natural grade directly below that point. With the exception of chimneys, the maximum allowable building height shall be 24 feet above natural grade.

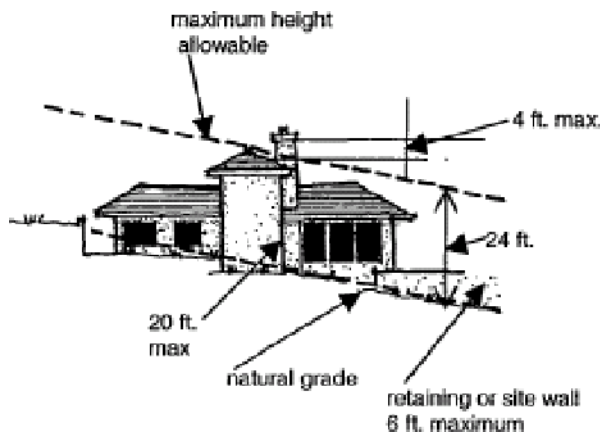


Figure 4 - Height

*** NOTE:**
Recorded Tract Declarations and subdivision plats for each custom neighborhood within Hidden Hills may contain specific height restrictions on certain lots that supersede the building height

restrictions stated above. Owners and Designers are hereby notified to review these documents as they pertain to each neighborhood to ascertain any restrictions on any respective custom lot.

Elevations of highest point of roof(s) shall be indicated on grading and drainage plan prepared by licensed Arizona land surveyor and shall be included in the Preliminary and Final design submittals as described elsewhere.

The zoning of the property at Hidden Hills prohibits multi-story homes. All residences shall be single-story designs. Nothing in these guidelines, however, shall prohibit or discourage the stepping of floor levels adjacent to one another on sloping lots.

Uninterrupted house walls shall not exceed 20 feet in height.

The top of chimney elements shall not exceed four (4) feet above the adjacent maximum allowable building height.

Certification of built height and finished floor elevation(s) will be required for final approval. Upon completion of the roof framing, a surveyor licensed in the State of Arizona, shall be hired by the Owner to establish the as-built elevations of the top of the roof plan at each ridge and parapet and finished floors. This certification (with seal and signature of licensed surveyor) shall be submitted to the Design Review Committee for their review and files.

It will be the homeowner's responsibility to make any modifications to existing construction required to remedy any

construction that exceeds allowable height requirements.

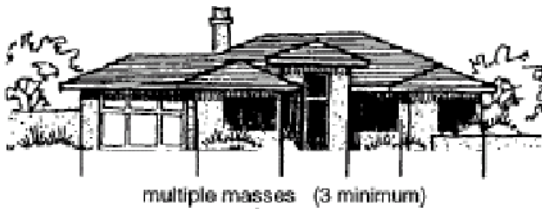


Figure 5 - Massing

5.10 Massing (See figure 5)

Massing is the arrangement of three-dimensional forms comprising the exterior of the building. Buildings with several smaller components will be more compatible with the desert environment, due to their reduced scale and increased texture, than a single large volume. Buildings shall be designed with at least three distinct building masses to avoid the “big box” affect. Massing shall vary horizontally with various ridge and parapet lines, and vertically with offset wall planes.

CUSTOM HOME REVIEW PROCEDURE

6.1 Introduction

These Design Guidelines govern the construction, placement, installation and modification of improvements, including structures, landscaping, pools, water features, walls and fencing, lighting and alteration of grading or drainage on all lots and custom homesites within Hidden Hills. All plans and materials for work proposed on any lot or homesite must be approved in writing by the ARC before work may begin.

All lot owners are responsible for complying with the standards and procedures set forth in these guidelines as well as for compliance by builders, consultants, contractors and others involved in work on their lot. Lot owners are also governed by the architectural and construction requirements contained in the “Declaration of Covenants Conditions and Restrictions for Hidden Hills” and any applicable Tract Declaration as well as the requirements and regulations of any applicable governing authority.

6.2 Design Phase for New Home Construction

The Design Phase includes all activities leading up to the development of the specific plan for the custom home to be built on the owner’s lot. A lot owner may meet with representatives of the Custom Design Review Committee (ARC). The ARC consists of a member of the Board of Directors, who serves as the Chair of this ARC, a volunteer custom homeowner with detailed knowledge of the community, and engineering and landscape architects who consult for Hidden Hills. This is to ensure that the proposed home meets the requirements of the Design Guidelines; the Declaration of Covenants, Conditions and Restrictions for Hidden Hills of Scottsdale (CC&Rs); and the Plat for the parcel in which the home will be located, prior to the initiation of any construction activity.

6.3 Optional Pre-Design Meeting

At the lot owner’s request, a meeting with a representative from the ARC and one or more of the architects will be scheduled with the lot owner, architect

and/or builder. The lot owner must bring the topographic and boundary survey of the lot. It is also useful to have a preliminary concept floor plan to discuss, as well as the opportunities and limitations of the lot. This meeting also provides an opportunity to receive answers to any questions regarding the Design Guidelines. This meeting may be held on-site if specific site issues need to be observed. The pre-design conference should take place before any detailed designs or drawings are prepared for the home. The ARC will promptly prepare a letter confirming any of the decisions or directions resulting from the meeting.

The architects will charge their normal hourly fees for this consultation, which will be billed through Hidden Hills. When the lot owner submits the formal application and design review fee, which begins the formal design review process, this charge will be offset against the design review fee.

6.4 Preliminary Design Submittal for New Home Construction

The lot owner must file an “Application For Review Of Custom Home–New Residence” and submit a design review fee in order to initiate the formal design review process.

Design Review Fee. A design review fee of \$10,000 will be required along with the Design Review Application. This deposit will be used to fund all aspects of the review process, including but not limited to pre-design review, preliminary design review, final design review, and on-site inspections. This deposit will be placed in a trust account. The cost, if any, of the trust

account will be shared equally by the applicant and Hidden Hills, and any interest earned on the design review fee will become part of that deposit. In the event that this deposit is exhausted due to costs, the lot owner will be requested to deposit within 30 days another \$2,500 into the trust account to continue the review.

Additional deposits may be required with the approval of the Board of Directors. It is in everyone’s interest to minimize costs, and therefore careful preparation is essential.

If construction is abandoned prior to completion of the home, the Board of Directors will determine the appropriate use of the remaining deposit.

At the completion of construction and final inspection approval, any funds remaining in the security deposit trust account will be returned promptly to the applicant.

6.5 Plan(s) Submittal for New Home Construction

The lot owner must submit four (4) copies of the following:

A) Site Plan at a scale not less than 1” = 20’-0”. The plan shall show the entire lot, development envelope, buildings and other structures, driveway(s), parking area(s), patios, pools and water features, walls, fences, proposed utility locations, finish floor elevation(s), established pad elevation, site grading (with existing and proposed contours at maximum 2’ intervals) and existing natural features (rock outcrops, washes, trees and major plants) with

their proposed status. Include a description of any proposed revision to the development envelope.

A survey by a land surveyor licensed in the state of Arizona drawn at the same scale as the site plan and showing lot boundaries and dimensions, setbacks, utilities and easements is also required.

- B) Floor plan** at not less than 1/8" = 1'-0" showing rooms with room names, finish floor elevations and patios, sidewalks, walls and fences attached to building.
- C) Roof plan** at not less than 1/8" = 1'-0" showing roof slopes, skylight(s), roof materials, scuppers and/or downspouts. Elevations of roof tops relative to natural grade below.
- D) Exterior elevations** of all sides or residence at not less than 1/8" = 1'-0" showing existing and proposed grades, building materials and heights of structure above natural grade. Include adjacent walls and structures as required to describe the overall expression of the home when viewed from surrounding properties.
- E) A minimum of two building sections** showing existing and proposed grades and maximum allowable heights pertaining to the subject lot.
- F) Preliminary landscape concept plan** at same scale as site plan.

The ARC may require the lot owner to provide preliminary staking of the building corners and other locations on the site in order to observe the location of the proposed improvements. The staking may be required to include information regarding proposed floor elevations and/or top of roof elevations.

6.6 Final Design Submittal for New Home Construction

Following approval of the Preliminary Submittal, the applicant must prepare and submit the following for Final Review:

- A) Four (4) copies of complete construction drawings as submitted to the building department for building permit.
- B) Four (4) copies of complete landscape plans showing the entire lot and describing;
 1. Natural, transitional and private areas with all disturbance areas clearly delineated.
 2. Location, size and species of all plant materials including revegetation areas and existing plant materials to remain or be reused.
 3. All locations and material of exterior walks, driveways and patios.
 4. Locations and fixture cuts for all landscape lighting.
 5. Location and description of pools, spas and water features including equipment locations and screening techniques.
 6. Location and description of all site walls, fencing and gates. Top of fence/wall heights are to be included.
 7. Locations and sizes of imported boulders and/or ornamental objects.
- C) Four (4) copies of complete grading plans showing all existing and proposed

topography and strategy for dealing with drainage and run-off.

- D) Exterior material and color sample board including samples of all major building materials. Proposed paint samples shall include manufacturer's published LRV for each color.
- E) Fixture cuts for all surface mounted building lights demonstrating how light source(s) will be shielded.

6.7 Review for New Home Construction

The ARC will hold a final design approval meeting within 10 business days of the Final Design submission. The lot owner or agent (e.g., architect, builder, etc.) may attend the meeting.

If the plans are approved, within 10 business days the ARC will provide a letter acknowledging that the approved plans, including any approved amendments, appear to be in compliance with all rules and guidelines in effect at the time of the approval and that the refund of any portion of the design review fee requires that construction be completed in accordance with those approved plans. This letter will be faxed, emailed, and/or mailed lot owner or agent.

If "Approved," the lot owner is free to move on to the next phase. If "Approved with changes," the lot owner is free to move on to the next phase but must demonstrate compliance with, or otherwise respond to any observations or concerns the ARC may list as part of their review.

If "Denied," the entire submittal is rejected. The ARC will list either general or specific reasons for the rejection, and the lot owner must resubmit the entire package addressing the ARC's concerns.

The results of reviews or ARC comments may not be discussed with individual committee members over the phone. Communication regarding reviews must be in writing.

No approval shall relieve the lot owner/applicant from complying with the requirements of these guidelines. Revisions to the plans after final approval has been granted shall be submitted to the ARC for review. All such revisions may be subject to an additional review fee.

6.8 Construction Phase for New Home

After receiving design approval, the lot owner is expected to expeditiously begin construction.

6.8.1 Permits

The lot owner will be required to obtain all required permits from the City of Scottsdale and any other applicable governmental entity. Construction may not begin in Hidden Hills prior to obtaining such permits and approvals.

6.8.2 On-Site Inspection Prior to Construction

The lot owner or agent must schedule an on-site inspection with the ARC prior to beginning construction. The following actions are required:

- a) The construction lot identification sign, including the lot number, must be securely placed on the lot.
- b) The community manager must be given notice prior to bringing in any construction trailer, field office, construction equipment, etc. onto the lot.
- c) Any necessary fencing or NAOS protection must be installed prior to beginning construction.

6.8.3 On-Site Formal Reviews

During the construction phase, there will be two on-site formal reviews for the purpose of determining compliance with the approved plans, as amended. The lot owner or agent may attend both of these reviews.

Within five days of each of the reviews, the lot owner or agent will be provided a letter specifying any deficiencies, violations or unapproved variations from the approved plans, as amended, that were identified during each of the respective reviews.

Within thirty business days after the second formal review, the lot owner or agent will be provided a written report (30 Day Report) specifying any remaining deficiencies, violations or unapproved variations from the approved plans, as amended and will be afforded an opportunity to correct any identified issue. If there are no outstanding issues identified at this second formal review, it may serve as the final inspection.

6.8.4 Final Inspection and Release of Remaining Design Review Fee

Upon completion of the home and all

required City inspections, the lot owner must provide the ARC with a Final Inspection Certificate and Certificate of Occupancy.

If there are no further outstanding issues, Hidden Hills shall promptly release to the applicant any funds remaining in the Design Review Fee Trust Account.

If the issues identified in the 30 Day Report have not been corrected, the funds remaining in the Design Review Fee Trust Account will be handled as follows:

When the ARC receives a construction compliance report indicating that all issues have been resolved, if less than 180 days, Hidden Hills will promptly release any funds remaining in the Design Review Fee Trust Account.

If the ARC does not receive a construction compliance report within 180 days indicating that the deficiencies, violations or unapproved variations from the approved plans, as amended, have been corrected, the funds remaining in the Design Review Fee Trust Account will be forfeited by the lot owner and the funds will be transferred to the Hidden Hills operating account.

A lot owner may request an extension of time to provide the construction compliance report, and the Board of Directors will determine whether such an extension is warranted.

6.9 Representations and Warranty for New Home Construction

Hidden Hills will use its best efforts to assure that the applicant's submissions meet all the requirements of the CC&Rs,

Design Guidelines, and Plat requirements. However, neither the approval of the plans nor the approval of the actual construction by the Committee constitutes a representation or warranty that the plans or construction comply with applicable governmental requirements or applicable engineering, design or safety standards. Furthermore, the release of any review fee/security deposit remaining in the trust account does not constitute a warranty from Hidden Hills that the construction complies with the approved plans.

6.10 Additions and Modifications to Existing Homes

6.10.1 Preliminary Design Submittal for Additions and Modifications to Existing Homes

A review fee may be required for submittals to add or modify existing homes. Depending on the complexity of the modification, a fee up to \$5000 may be required. After the review fee is submitted with a completed "Application for Review – Modifications to Residence," the applicant shall submit four copies of the following:

- A) Site Plan at not less than 1" = 20'-0" scale showing the existing and proposed structures, property boundaries, setback and/or development envelope lines, driveway, patios, sidewalks and natural features.
- B) Floor plan or enlarged site plan at not less than 1/8" = 1'-0" showing all proposed modifications.
- C) Roof plan at not less than 1/8" = 1'-0" showing roof slopes,

skylight(s), roof materials, scuppers and/or downspouts.

- D) Exterior elevations of all sides or residence affected by the work, at not less than 1/8" = 1'-0", showing existing and proposed grades, building materials and heights of structure above natural grade. Include adjacent walls and structures as required to describe the overall expression of the home when viewed from surrounding properties.
- E) At least one building section, for structural additions to existing residences, showing existing and proposed grades and maximum allowable heights.
- F) Photographs or other information verifying existing conditions.

6.10.2 Final Design Submittal for Additions and Modifications to Existing Homes

Once approval of the Preliminary Submittal is granted, the applicant must prepare and submit the following (wherever applicable) for Final Review:

- A) Four (4) copies of complete construction drawings (for structural additions or remodels) as submitted to the building department for building permit.
- B) Four (4) copies complete landscape plans (when work includes new or revised landscaping) showing the entire lot and describing;

1. Natural, transitional, and private areas with all disturbance areas clearly delineated.
 2. Location, size and species of all plant materials including revegetation areas and existing plant materials to remain or be reused.
 3. All locations and material of exterior walks, driveways and patios.
 4. Locations and fixture cuts for all landscape lighting.
 5. Location and description of pools, spas and water features including equipment locations and screening techniques.
 6. Location and description of all site walls, fencing and gates. Tops of fence/wall heights are to be included.
 7. Locations and sizes of imported boulders and/or ornamental objects.
- C) Complete grading plan showing all existing and proposed topography and strategy for dealing with drainage and run-off.
- D) Exterior material and color sample board including samples of all major building materials. Proposed paint samples shall include manufacturer's published LRV for each color.
- E) Fixture cuts for all surface mounted building lights demonstrating how light source(s) will be shielded.

6.10.3 Review and Construction for Additions and Modifications of Existing Homes

If a review fee has been required for an addition or modification to an existing home, the procedures set forth in sections 6.2 – 6.6 will be followed.

6.10.4 Representations and Warranty for Additions and Modifications of Existing Homes

Hidden Hills will use its best efforts to assure that your submissions meet all the requirements of the CC&Rs, Design Guidelines, and Plat requirements. However, neither the approval of the plans nor the approval of the actual construction by the Committee constitutes a representation or warranty that the plans or construction comply with applicable governmental requirements or applicable engineering, design or safety standards. Furthermore, the release of any review fee/security deposit remaining in the trust account does not constitute a warranty from Hidden Hills that the construction complies with the approved plans.

6.10.5 Modifications to Existing Residence Procedures

1. Submit Application and Application Fee.
2. Drawings to adequately describe nature of modifications. All submittals must include a site plan showing property boundaries, development envelope, existing and proposed improvements.

GENERAL INFORMATION FOR CONSTRUCTION OF CUSTOM HOMES

7.1 Interpretation/Governing Procedure

The homes at Hidden Hills are subject to the “Declaration of Covenants, Conditions, and Restrictions for Hidden Hills of Scottsdale” in addition to these “Design Guidelines” and are included herein by reference.

In the event of a conflict, the provisions of the Declaration shall take precedence over these Design Guidelines.

To the extent that any governing authority ordinances, building code, or regulations require a more restrictive standard than the standards set forth in these Design Guidelines or the Declaration, the governing authority standards shall prevail. To the extent that any governing authority standard is less restrictive, the Declaration and the Design Guidelines (in that order) shall prevail. Owner’s responsibility to comply herewith is not discharged by compliance with other legal requirements.

7.2 Enforcement

In the event of any violation of these Design Guidelines, the Association may take enforcement action as provided in the Declaration and By-Laws. Enforcement powers include (without limitation) removing or remedying violations, seeking legal or injunctive relief, and levying fines. In any enforcement action, the Board shall be entitled to recover all costs incurred in enforcing compliance. It is

acknowledged by Owner that all acts of any Builder working at Owner’s direction or on Owner’s behalf shall be deemed to be done by Owner or shall entitle the Association to exclude such Builder from Hidden Hills in addition to exercising remedies against Owner.

7.3 Construction Scheduling

No construction may commence until Final Plan approval is obtained from the committee. New Residential construction and initial landscape improvements must be pursued diligently and without interruption and must be completed within 18 months of commencement.

Modifications to existing improvements must be commenced within 90 days of final plan approval and the modification must be completed within 180 days of commencement.

7.4 Rules for Construction

7.4.1 Pre-Construction Conference

Prior to commencing construction, the Builder may meet with a representative of the ARC to review construction procedures and to coordinate construction activities.

7.4.2 Governing Authority

All Builders and Owners shall comply with the regulations of any Governing Authority, as well as all-applicable Occupational Safety and Health Act regulations and guidelines.

7.4.3 Construction Trailers and Portable Field Offices

Any Owner or Builder who desires to bring a construction trailer, field office, or other temporary structure onto the lot shall first apply for and obtain written approval from the ARC. The trailer must be an acceptable color and have no signage. To obtain such approval, the Builder shall submit a copy of the architect's site plan with proposed location of the structure within the development envelope. Such temporary structures shall be removed upon completion of construction. All storage of materials shall be at Builder's own risk and Declarant shall not provide any security for building sites. Animal proof trash receptacles of an approved size shall be required for each such structure.

7.4.4 Debris and Trash Removal

Builders shall clean up all trash and debris on the lot at the end of each day. Trash and debris shall be removed regularly from each lot and not be permitted to accumulate. Lightweight materials, packaging and other items shall be covered or weighted down to prevent their being blown off the construction site. Builders are required to retrieve promptly all trash and debris blown onto neighboring properties.

Builders are prohibited from dumping, burying, or burning trash anywhere within Hidden Hills. During the construction period, each construction site shall be kept neat and clean and shall be properly policed to prevent it from becoming an eyesore or affecting other Lots or any open space.

Mud, dirt, and cement dragged from the construction site onto the paved streets within Hidden Hills, whether caused by the Builder or any of its subcontractors or suppliers, shall be promptly removed and cleaned by the Builder. Failure to comply with this section may result in a fine being levied by the Association and/or the violation being remedied by the Association or Declarant as provided in the Declaration.

7.4.5 Sanitary Facilities

Each Builder is responsible for providing adequate sanitation facilities for its construction workers. Portable toilets shall be located only within the Development envelope or in an area approved by the ARC.

7.4.6 Vehicles and Parking Areas

Construction crews shall not park on, or otherwise use, other Lots or any open space. Construction vehicles and machinery, as well as worker's private vehicles shall be parked only within the Lot area or in areas designated by the ARC. All vehicles shall be parked so as not to inhibit traffic.

Each Builder shall be responsible for assuring that its subcontractors and suppliers obey any speed limits posted within Hidden Hills. Fines may be imposed against the Builder for repeated violations. Repeat offenders will be denied future access to the site.

7.4.7 Blasting

The City of Scottsdale, Arizona and the ARC must be informed of any plans for blasting, both on the initial application for approval of the work and no less

than 48 hours prior to the date when blasting will occur, and blasting must comply with all governing authority requirements. Owner must obtain the written advice of expert consultants to assure that blasting may be accomplished safely. No blasting or impact digging causing seismic vibrations may be undertaken without the approval of the ARC, which shall be based upon advice from a qualified consultant and input from jurisdictions with authority over Hidden Hills.

The ARC's only responsibility is to require evidence of such consultant's expertise. It shall have no liability for the blasting or for any damage or injury caused as a result.

7.4.8 Excavation Materials

Excess excavation materials must be hauled away and properly landfilled.

7.4.9 Development Envelope Fencing

To protect the natural area outside the disturbed area on custom lots from damage due to construction operations, a temporary fence, approved by the ARC, shall be installed to completely enclose the development envelope. Such fence shall not encroach outside the development envelope line. The fence will have a single entrance located at the driveway, and will remain until completion of construction. The fence is to be promptly removed following completion of construction. Any construction trailers, sanitary facilities, construction material storage and trash receptacles must be contained within such fence. Under special circumstances, and only with prior ARC approval, construction

materials may be stored outside such fence.

In the event it is necessary to conduct construction activities outside the development envelope, the Owner shall submit a boundary description and revegetation plan for the proposed encroachment for approval. Such encroachment shall be restored to its original condition upon completion of construction.

7.4.10 Restoration or Repair of Other Property Damages

Damage and scarring of any property outside the development envelope will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and any expense shall be borne by the Owner.

7.4.11 Miscellaneous and General Practices

All Owners will be responsible for the conduct and behavior of their agents, representatives, builders, contractors, and subcontractors within Hidden Hills.

The following are strictly prohibited:

- Changing oil on any vehicle or equipment on the lot or at any other location within Hidden Hills.
- Smoking by construction workers.
- Allowing concrete suppliers, plasterers, painters or any other subcontractors to clean their equipment anywhere but the location specifically designated for that purpose by the ARC. Violation of this provision will result in a charge of \$500 fine per occurrence or the

repayment of expense of repairing the damage, whichever is greater.

- Removing any rocks, plant material, topsoil, or similar items from another lot, including other construction sites.
- Consumption of alcoholic beverages within Hidden Hills.
- Carrying any firearms within the Hidden Hills.
- Using disposal methods or equipment other than those approved by the ARC.
- Destruction or removal of protected plant materials or plants without ARC approval.
- Use of transit over common areas without the Association's consent, or over any private amenity areas without the amenity owner's consent.
- Bringing animals into Hidden Hills by builders or construction personnel. In the event of a violation, the Declarant or the Association shall have the right to contact authorities to impound the animal, refuse to permit the builder or subcontractor involved to continue on the project, or take such other action as permitted by law, the Design Guidelines, or the Declarations.
- Radios and other audio equipment that can be heard outside the construction site.
 - The use of horns by any catering trucks. Trash generated by the purchase of items from catering trucks shall be contained and disposed of properly. Repeated problems with these requirements will result in the catering trucks being denied admittance to Hidden Hills.

7.4.12 Construction Access

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway for the lot unless the ARC approves an alternate access point. In no event shall more than one construction access route be permitted onto any lot.

If necessary, the location of Hidden Hills' main construction entrance will be determined from time to time by the ARC, and each Builder shall be responsible for assuring that only that entrance is used by its employees, suppliers, subcontractors and agents.

7.4.13 Dust, Mud, and Noise

Each builder shall be responsible for controlling dust, mud and noise, including without limitation, music from the construction site.

7.5 Construction Signage

One ARC approved construction sign may be posted on a Lot per the ARC's approved location.

Daily working hours and site access for each construction site shall be as follows:

- Monday – Friday / April 1st effect through October 31st. No work shall commence prior to 6:00 a.m. nor continue after 7:00 p.m.

The remaining portion of the year no work shall commence prior to 7:00 a.m. nor continue after 5:00 p.m

- Saturday 8:00 AM to 5:00 PM
- Sunday and Holidays by BOD approval only.

HIDDEN HILLS OF SCOTTSDALE COMMUNITY ASSOCIATION
C/O AMCOR PROPERTY PROFESSIONALS, INC.
16441 N. 91ST STREET STE 104 • SCOTTSDALE, AZ 85260
Phone (480)948-5860
EMAIL: tonia@amcorprop.com

7.5.1 CONSTRUCTION SIGNAGE

One ARC approved construction sign may be posted on a Lot per the Architectural Committee’s approved location.

Daily Operation

Daily working hours and site access for each construction site shall be as follows:
Monday – Friday / April 1st effect through October 31st. No work shall commence prior to 6:00 a.m. nor continue after 7:00 p.m. The remaining portion of the year no work shall commence prior to 7:00 a.m. nor continue after 5:00 p.m. Saturday 8:00 AM to 5:00 PM Sunday and Designated Holidays by Board of Director’s approval only.

Construction hours are subject to change and will be determined by the Architectural Committee from time to time.

The undersigned hereby acknowledges receipt of the foregoing Rules for Construction for Hidden Hills, and by signing below, agree to be bound by and comply with such Rules.

LOT OWNER	DATE	CONTRACTOR/BUILDER	DATE
-----------	------	--------------------	------

DESIGNER	DATE
----------	------

7.6 Amendments to the Design Guidelines

These Design Guidelines may be amended as follows:

- A. These Design Guidelines may be amended only upon the affirmative vote of two-thirds of the members of the ARC, with the Board's consent.
- B. Any amendment to these Design Guidelines shall be promptly posted in a prominent place within Hidden Hills.
- C. All amendments shall become effective upon adoption by the Board. Such amendments shall not be retroactive so as to apply to previous Work or approved Work in progress.
- D. No amendment to these Design Guidelines shall change, alter, or modify any Declaration, Supplemental Declaration, or Tract Declaration provision.

7.7 Right of Waiver

The ARC reserves the right to waive or vary any of the procedures or standards set forth.

Any ARC approval or waiver shall not be deemed to constitute a waiver of any right to withhold approval as to any similar drawing, specification, or matter whenever subsequently or additionally submitted for approval. For example, the ARC may disapprove an item shown in the Final Submittal even though it may have been evident and could have been disapproved at the Preliminary Plan Submittal.

Furthermore, the ARC's failure to raise or disapprove any item of non-compliance during the review process, the construction process, or during its Final Inspection, shall not relieve the Owner from the obligation to comply with these Design Guidelines and all other applicable codes, ordinances and laws.

7.8 Certificate of Compliance

Any Owner may request that the Association issue a certificate of architectural compliance certifying that there are no known violations of

the Declaration or these Design Guidelines. The Association shall either grant or deny such request within 30 days after receipt of a written request and may charge a reasonable administrative fee for issuing such certificates. Issuance of such a certificate shall estop the Association from taking enforcement action with respect to any condition as to which the Association had notice as of the date of such certificate and which may violate any provision of the Declaration or these Design Guidelines.

7.9 Severability

If any provision of these Design Guidelines shall be held to be invalid, such provisions shall not affect the validity of the remainder of the Design Guidelines to the extent that they can be reasonably understood without the invalid portion(s).

7.10 Notices

All notices required or permitted under these Design Guidelines shall be in writing and shall be deemed to have been given if delivered personally, if sent by United States Mail, first class postage pre-paid, or by overnight document delivery service.

7.11 Non-liability for Approval of Plans

The guidelines and procedures in these Design Guidelines and the Declaration are intended as a mechanism for maintaining and enhancing the overall aesthetics of Hidden Hills but shall not create any duty on any person. Review and approval of any application is made on the basis of aesthetic considerations only. The ARC shall not bear any responsibility for ensuring; (a) structural integrity or soundness of approved construction; (b) compliance with building codes and other governmental requirements; or (c) conformity of quality, value, size, or design with other residences. Declarant, the Association, the Association's Board of Directors, the ARC, or member of any of the foregoing shall not be held liable for any claim whatsoever arising out of construction on or review to any lot.

PRIOR TO SUBMITTING PLANS OR INFORMATION FOR REVIEW, YOU SHOULD READ AND UNDERSTAND THIS DISCLAIMER. IF YOU DO NOT UNDERSTAND IT, PLEASE ASK A REPRESENTATIVE OF THE ARCHITECTURAL COMMITTEE OR MORRISON GROUP FOR AN EXPLANATION.

Subject to Board approval, Homeowners and Lot Owners experiencing financial challenges may request to be placed on a payment schedule.

SUMMARY OF KEY COMMUNITY POLICIES

8.1 Assessment Collection

Assessments are due on a semi-annual basis—January 1st and July 1st each year.

- A. If assessments are not received within 30 days, a reminder notice will be sent to the homeowner/lot owner advising that the account is now overdue and the account is assessed a \$15.00 late fee.
- B. If the account continues to be overdue, the account will begin accruing penalties as follows:
 - 1. A penalty of \$55.00 will be applied to the account if it remains overdue after 45 days, and a demand letter will be sent.
 - 2. If the account continues to remain overdue after 60 days, a lien will be placed on the property and an additional penalty of \$155 will be applied to the account.
 - 3. If the account continues to remain overdue after 90 days, the overdue account will be sent to our collection attorneys. All further communications from that point on must be directed to the collection attorneys, and attorney fees and costs will accrue.

8.2 Fines and Penalties

A. Authority

In accordance with Article 5.3 of the Declaration of Covenants, Conditions and Restrictions for Hidden Hills as filed in Maricopa County Records 99-0905421 on September 29, 1999, (CC&R's) for Hidden Hills of Scottsdale Community Association, Inc., a Community Association (the Association), the Hidden Hills Board of Directors is authorized to adopt, amend and repeal rules and regulations for violations of the CC&R's, Bylaws and Architectural Design Guidelines and Community Policies.

B. Statement of Policy

It shall be the policy of the Association to fairly and impartially enforce the CC&R's, Bylaws, and Architectural Design Guidelines and Community Policies and to impose sanctions for violations of these requirements.

For purposes of this policy, home/lot owners shall be responsible for any violations of the CC&Rs, Design Guidelines, and policies of the Association committed by residents, family members, tenants residing at the property, and guests.

E. Enforcement

In the event of any violation of these Design Guidelines, the Association may take enforcement action as provided in the Declaration and By-Laws. Enforcement powers include (without limitation) removing or remedying violations, seeking legal or injunctive relief, and levying fines. All amounts incurred in remedying a violation, including any fines, costs and attorney fees, together with any other amounts incurred by the Association, whether or not judicial action is taken, shall be

the responsibility of the homeowner and shall be deemed an Assessment and may be collected in the same manner as Assessments to the fullest extent allowed by law. It is acknowledged by Owner that all acts of any Builder working at Owner's direction or on Owner's behalf shall be deemed to be done by Owner or shall entitle the Association to exclude such Builder from Hidden Hills in addition to exercising remedies against Owner.

D. Fines

1. An **initial notice** of violation of the CC&R's, Bylaws, and/or Architectural Design Guidelines and Community Policies shall be mailed to the home/lot owner requesting compliance within 21 days – **no fine**.
2. **Second notice** shall be mailed to the home/lot owner if the violation is not corrected per the initial notice, requesting compliance within an additional 10 days **\$150.00 fine for each violation**, subject to the right to a hearing.
3. **Third notice** shall be mailed to the home/lot owner if the violation is not corrected per the second notice, requesting compliance within an additional 10 days. If violation is not corrected per the third notice, a **\$200.00 fine for each violation** shall be automatically assessed and due within 15 days following imposition. This notice may also advise the home/lot owner of the Association's right to remedy the violation and take legal action. Additional fines in the minimum amount of **\$200 for each violation** may be imposed at least every 10 days thereafter.
4. **Fourth and additional notices** may be mailed to the home/lot owner advising of possible actions to be

taken by the Association and the ongoing imposition of fines, in the amount and frequency as determined by the Board.

1. If the violation is not corrected by either the home/lot owner or the Association, **continued violations** shall be presumed, including the imposition of ongoing fines. If the violation subsequently recurs within 12 months from the date of the last correction, whether or not previously corrected, the violation will be treated as if it was continuing unabated.
2. A charge of 10% of any unpaid fine(s) may be imposed if the fine(s) remains unpaid 15 or more days after its due date.
3. The nature of some violations constitutes a safety hazard or a public nuisance and can be and should be corrected in a most expeditious manner. In such cases the home/lot owner will be notified via a phone call, e-mail or letter asking for corrective action. This will serve as the initial notice (see #1 above) requesting **immediate corrective action** without allowing 21 days to comply. Failure to comply with the request (within 24 hours of the notification) will result in fines as outlined in the schedule above or as otherwise determined appropriate in the sole discretion of the Board.
 - a. Violations referenced above include, but are not limited to:
 - Speeding.
 - Running Stop Signs.
 - Littering.
 - Disturbing the peace.
 - Failure to clean up pet feces when walking one's pet in the development.

- Any illegal activities as defined by local, State or Federal laws.
 - Parking in restricted areas and/or parking overnight without a temporary permit.
 - Making exterior architectural modifications without written approval
8. The cost of remedying violations, fines and any legal fees or other costs incurred shall be billed to the home/lot owner account and collected in the same manner as Assessments, to the extent allowed by law. Failure to pay the amounts imposed shall subject the home/lot owner to the same penalties as failure to pay any Assessment, to the extent allowed by law.

In compliance with A.R.S. §33-1803, in the event the violation pertains to the condition of the home/lot owner's property, the home/lot owner may provide the Association with a written response to the notice of violation per the following Appeal Process.

APPEAL PROCESS

1. Any fine levied for a violation of the CC&Rs may be appealed by a home/lot owner if sent in writing and certified delivery to the Board of Directors in care of AMCOR Property Professionals, Inc.
2. The appeal must be received by AMCOR Property Professionals, Inc. no later than 21 calendar days after the date of the Notice of Violation, or the right to appeal is waived.
3. In the event a timely request for an appeal hearing is received, the fine will be held in abeyance pending the hearing, although lack of success at the hearing may result in all fines becoming due and payable.
4. Any appeal shall include all pertinent information and evidence to support the claim asserted by the appellant home/lot owner.

5. Any appeal, which does not meet the above requirements, shall not be heard by the Board of Directors of the Association and shall be considered DENIED.
6. All decisions of the Board of Directors of the Association are final and may not be further appealed.
7. Fines shall be collected in the same fashion as any other Assessment pursuant to the CC&Rs and to the extent allowed by Arizona law.

8.3 Speeding on Private Streets

All privately-maintained streets within the community (all those within a gated parcel) have a speed limit of 20 miles per hour. It is the homeowners' responsibility to ensure that all residents, family, tenants, and guests adhere to that speed limit. Speeding in excess of that limit subjects the owner to fines and penalties as set forth in G.1 above. The Homeowner or Lot Owner is responsible for any fines resulting from violations committed by the Homeowner, Lot Owner, family members, tenants, or guests.

8.4 Pool Backwashing

- A. When it is necessary to drain a pool to make repairs, lower the level, or for other purposes, Owners may not dispose of swimming pool water by draining into the street, any common area (including natural or manmade washes), or directly into a sewer manhole.
- B. The Owner is permitted to drain the pool water into the City of Scottsdale's sewer system provided the Owner utilizes the sewer clean-out on the property. The City of Scottsdale may hold the property owner liable for any backup or other damage caused by draining a swimming pool into Scottsdale's sewer.

8.5 Debris and Residue

All Homeowners and Lot Owners are responsible for ensuring that their property is free of debris and residue including, but not limited to, that from erosion, construction, landscaping, and storm damage. Homeowners and Lot Owners also are responsible for ensuring that any runoff of gravel, dirt or other materials from their property into the streets or washes is remediated within five days. Failure to take appropriate remediation will subject the Homeowner and Lot Owner to the provisions of § 8.2D. above. Other materials such as debris, trash, etc that is discarded from their property into the streets or washes must be remediated within five days.

8.6 Overnight On-Street Parking

On-street overnight parking is prohibited on the residential streets within Hidden Hills. Under very limited circumstances, parking on streets or roadways for a period of not more than 24 hours to accommodate guests and visitors may be permitted. All vehicles must be parked, kept, or stored in a fully-enclosed garage or on paved driveways. Violation of this prohibition is subject to the fines schedule set forth in § 8.2D.

EXHIBIT "A"

**HIDDEN HILLS OF SCOTTSDALE
COMMUNITY ASSOCIATION
ARCHITECTURAL REQUEST- GENERAL CHANGES**

Any changes to the exterior of your unit and/or interior changes involving the structure of your home must be submitted to the Hidden Hills of Scottsdale Community Associations and approved by the Architectural Review Committee/Board of Directors prior to the start of work. **DO NOT SUBMIT THIS FORM FOR EXTERIOR PAINT CHANGES.**

Please note that after the application is approved, modifications must be completed in a timely manner. A project completion date will be included on the approved Application. If additional time is required for you to finish your project, an extension request is listed at the bottom of the second page of this form.

Please submit this application with all the required attachments to:

**HIDDEN HILLS OF SCOTTSDALE COMMUNITY ASSOCIATION
C/O AMCOR PROPERTY PROFESSIONALS, INC.
16441 North 91st Street, Suite 104
Scottsdale, Arizona 85260
EMAIL: tonia@amcorprop.com**

The time period for approval begins when a complete application is received by the Committee. Depending on the complexity of the work being performed, the Committee may take up to 30 days to approve, approve with conditions, or disapprove the application. If you have not received any form of communication from the Committee or the Association after 30 days, please call Amcor Property Professionals, Inc. for status update.

Homeowner's Name: _____

Homeowner's Mailing Address: _____

City: _____ State: _____ Zip: _____ Phone: _____

Onsite Address: _____

Description of work to be completed: _____

Please find architectural plans and/or specifications of the above described items for approval, which include (if appropriate):

- Architectural Drawings
- Photographs or sample elevations for visual picture of the proposed project
- Dimensions (height, width, length)
- Types of materials to be used
- Material samples to be used
- Sample of pavers
- Sample of tile to be used
- Other _____

**HIDDEN HILLS OF SCOTTSDALE COMMUNITY ASSOCIATION
EXHIBIT "B"
ARCHITECTURAL REQUEST- GENERAL CHANGES**

Person performing the installation/work: _____

Is a licensed contractor being used: ___ Yes ___ No

Contractor's License Number: _____ City: _____ State: _____

Expected Start Date: _____

Expected Completion Date: _____

City of Scottsdale Permit #: _____ Date Permit was applied for: _____

- A City of Scottsdale permit is not needed for this project.
- I am requesting to bring a dumpster to the property on _____ for _____ days.
- I am requesting to bring a temporary storage unit to the property on _____ for _____ days.

Please notify me if you have any questions or need more information at _____.

I understand that should the application not be complete or if it does not contain a complete description of all the work being performed the Architectural Committee or Board of Directors will disapprove the Application and return it to me with a statement for the disapproval. I agree to notify the Association if there are changes to the scope of work as stated in this request. I agree to comply with all applicable city, County and State laws and to obtain all necessary permits. This application and drawing will be retained for the Association's records.

If this application is requesting an extension, please provide the new date and an explanation as to why an extension is needed. New Date: _____

I, undersigned hereby certify the information in this application is complete and accurate and that I will notify the Association of any changes to the scope of work and/or materials. I further understand the Association may inspect the work being performed and cease and desist order will be issued with further possibility of legal action and/or the requirement to remove any non-approved items if there is any variance to the information stated in this application.

Homeowner's Signature _____ Date _____

FOR ASSOCIATION USE ONLY

Hidden Hills of Scottsdale Community Association Architectural Committee or Board of Directors

- Approves the above Application
- Approves the above Application with the following Conditions: _____

- Disapproves the above Application with the following Reason(s): _____

Signature _____ Date _____

Date Application Received:	Emailed to Committee:	Received from Committee:	Emailed to Homeowner:
----------------------------	-----------------------	--------------------------	-----------------------

EXHIBIT "C"
HIDDEN HILLS ARCHITECTURAL REQUEST
REPAINT EXTERIOR OF RESIDENCE – DEVELOPER HOMES

When it is time to repaint the exterior of your home in Hidden Hills, you must submit this request, "Repaint Exterior of Residence – Developer Homes," which can be found on the Hidden Hills website, HiddenHillsAZ.org, or through the Community Manager Tonia Reynolds, tonia@amcorprop.com. For Developer Homes, please follow the procedures below.

1. Select approved colors from the approved paint schemes that are shown on the Hidden Hills website.
2. The color of your house must be different from the color of adjacent houses.
3. Each Color Scheme provides a body color, and usually two trim colors. You may select **either, but not both**, of the trim colors, and you must designate specifically where on your house you wish to use the trim color – e.g., under the roof line, on wrought iron fixtures, architectural pop outs, etc.
4. The coach or sconce lights found near the garage doors and in some cases, on other walls of the residence may be painted either the body or trim color. Please specify what color you wish to paint the sconces.
5. Garage doors, other than wooden doors, **MUST** be painted the body color.
6. Paint a sample of the body and trim colors selected on the house, preferably on a corner, so that a member of the Architectural Committee can see the color in the sunlight and shade, prior to approval of the request.
7. You must advise the Community Manager when the painting of the house has been completed so that a final inspection can be scheduled.

Color Scheme: _____ Body: _____ Trim: _____
Trim to be painted on the following areas (you may submit a photo showing which areas will be painted with the trim)

I UNDERSTAND AND ACKNOWLEDGE THAT NO WORK MAY COMMENCE UNTIL MY REQUEST IS APPROVED. I FURTHER UNDERSTAND THAT I WILL BE LIABLE FOR ALL COSTS NECESSARY TO BRING ANY NON-CONFORMING WORK INTO COMPLIANCE WITH THE CC&R's AND DESIGN GUIDELINES, AND FOR SUCH OTHER PENALTIES AS ARE PROVIDED IN THE CC&R's AND DESIGN GUIDELINES.

Owner (Print)

Date

Parcel/Unit Number

Phone

Address City State Zip

Signature(s)

Please submit completed form to:

Tonia Reynolds
c/o Amcor Property Professionals
16441 N 91st Street, Suite 104
Scottsdale, AZ 85260
tonia@amcorprop.com

ACTION TAKEN BY THE ARCHITECTURAL COMMITTEE:

- Approved as submitted
- Approved subject to conditions noted
- Not Approved for reasons noted

Architectural Committee Signature: _____ Date: _____

This approval in no way relieves the homeowner from the requirements of CC&R's and Design Guidelines, nor does it constitute approval as to compliance with any applicable Arizona law, Scottsdale ordinances, and building and safety requirements.

EXHIBIT "D"
HIDDEN HILLS REQUEST
REPAINT EXTERIOR OF RESIDENCE – CUSTOM HOMES

When it is time to repaint the exterior of your home in Hidden Hills, you must submit this request, "Repaint Exterior of Residence – Custom Homes," which can be found on the Hidden Hills website, www.amcorprop.com, or through the Community Manager, Tonia Reynolds, tonia@amcorprop.com. In selecting a color, please consider the following guidelines and follow the application procedures below.

1. Exterior paint color(s) should have the lowest practical light reflectance value (LRV), not to exceed 40.
2. The color of your house must be different from the color of adjacent houses.
3. The color should harmonize with the existing colors of the surrounding desert to reinforce the sense of identity and community of Hidden Hills.
4. Colors of various home components will be compatible with desert vegetation.
5. Paint a sample of the body color selected on the house, preferably on a corner, so that a member of the Architectural Committee can see the color in sunlight and shade, prior to approval of the request.
6. You must advise the Community Manager when the paint of the house has been completed so that a final inspection can be scheduled.

Color Scheme: _____ Body: _____ Trim: _____
Trim to be painted on the following areas (you may submit a photo showing which areas will be painted with the trim)

I UNDERSTAND AND ACKNOWLEDGE THAT NO WORK MAY COMMENCE UNTIL MY REQUEST IS APPROVED. I FURTHER UNDERSTAND THAT I WILL BE LIABLE FOR ALL COSTS NECESSARY TO BRING ANY NON-CONFORMING WORK INTO COMPLIANCE WITH THE CC&R'S AND DESIGN GUIDELINES, AND FOR SUCH OTHER PENALTIES AS ARE PROVIDED IN THE CC&R'S AND DESIGN GUIDELINES.

Owner (Print) _____ Date _____

Parcel/Unit Number _____ Phone _____

Address _____ City _____ State _____ Zip _____

Signature(s) _____

Please submit completed form to: Tonia Reynolds
c/o Amcor Property Professionals
16441 N 91st Street, Suite 104
Scottsdale, AZ 85260
tonia@amcorprop.com

ACTION TAKEN BY THE ARCHITECTURAL COMMITTEE:

- Approved as submitted
- Approved subject to conditions noted
- Not Approved for reasons noted

Architectural Committee Signature: _____ Date: _____

This approval in no way relieves the homeowner from the requirements of CC&R's and Design Guidelines, nor does it constitute approval as to compliance with any applicable Arizona law, Scottsdale ordinances, and building and safety requirements.

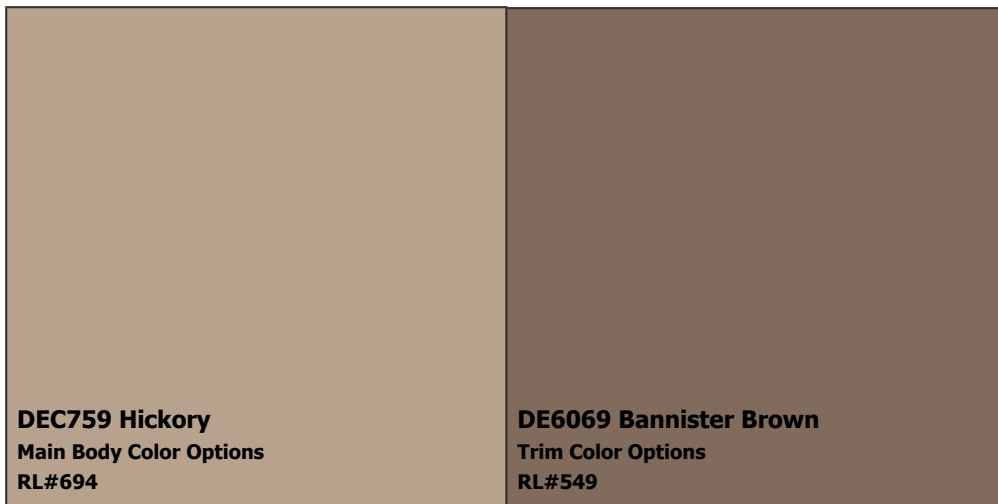
Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 1



NOTES TO HOMEOWNERS:

COLOR DISCLAIMER: These color chips are produced as accurately as possible; however, actual paint colors may vary from these samples and from batch to batch. Paint colors are affected by many factors, including lighting, age, type of finish, type of surface, and adjacent colors. Some colors may require more than one coat for complete coverage. If final color appearance and color matches are critical, paint should be sampled on the actual surface before full application. Application of the paint constitutes acceptance of the color. Dunn-Edwards assumes no responsibility for color after application.

<h2 style="margin: 0;">Courtesy Discount*</h2>	CONVENIENT DUNN-EDWARDS STORE LOCATIONS																				
<p>Provide this account number and save up to 37% off LIST PRICE on Dunn-Edwards manufactured paint products.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Scottsdale - 065</td> </tr> <tr> <td colspan="2" style="text-align: center;">8686 Frank Lloyd Wright Blvd</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 483-3131</td> <td style="width: 50%;"></td> </tr> </table>	Scottsdale - 065		8686 Frank Lloyd Wright Blvd		(480) 483-3131		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Scottsdale Contractor - 084</td> </tr> <tr> <td colspan="2" style="text-align: center;">8350 Evans Rd #F2</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 607-7165</td> <td style="width: 50%;"></td> </tr> </table>	Scottsdale Contractor - 084		8350 Evans Rd #F2		(480) 607-7165		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Red Mountain - 197</td> </tr> <tr> <td colspan="2" style="text-align: center;">2733 N Power Road #108</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 955-0870</td> <td style="width: 50%;"></td> </tr> </table>	Red Mountain - 197		2733 N Power Road #108		(480) 955-0870	
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COLOR USE ADVISORY: The color schemes presented are based on original color specifications approved by your community. Your community's color standards may have changed. Before undertaking your painting project, it is recommended that you seek approval of your color selections from the appropriate governing body for your community.

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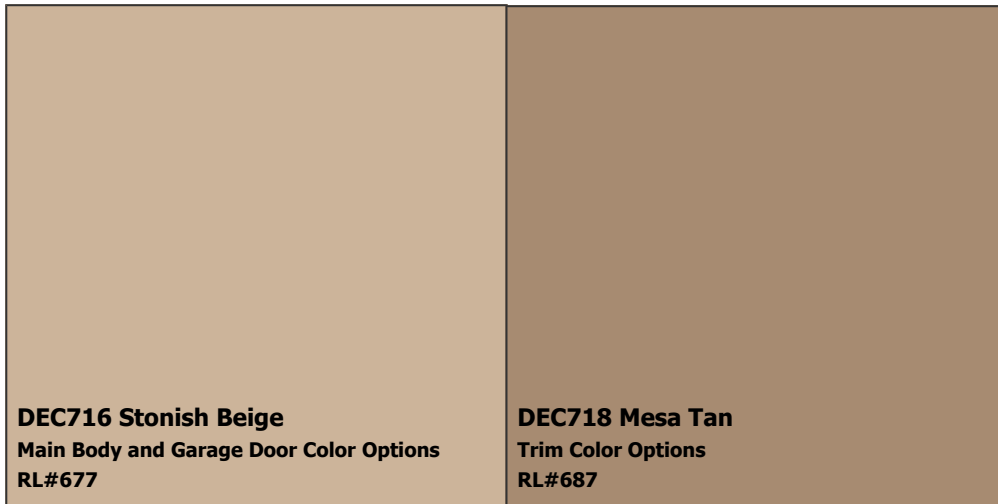
Hidden Hills



SUBDIVISION: Hidden Hills

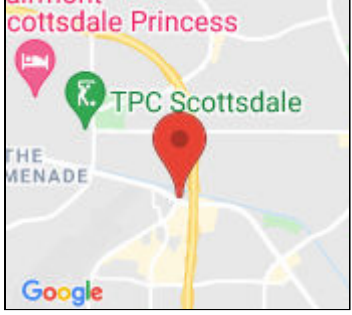
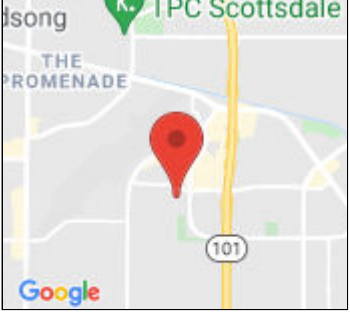
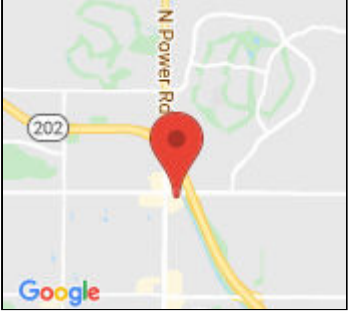
LOCATION: Scottsdale, AZ, 85259

Scheme 2



NOTES TO HOMEOWNERS: Sept 2018

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SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 3

<p>DE6144 Graham Cracker Main Body and Garage Door Color Options RL#560</p>	<p>DE6145 Rocky Ridge Trim Color Options RL#560</p>
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NOTES TO HOMEOWNERS: Sept 2018

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SUBDIVISION: Hidden Hills

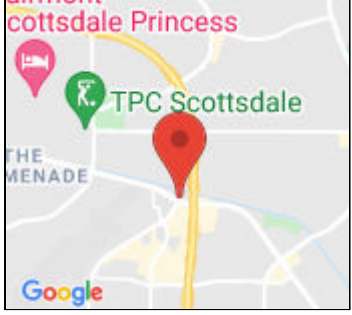
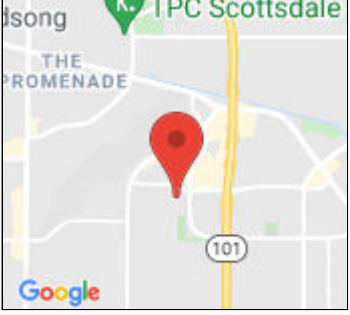
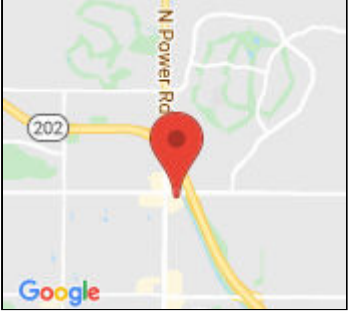
LOCATION: Scottsdale, AZ, 85259

Scheme 4



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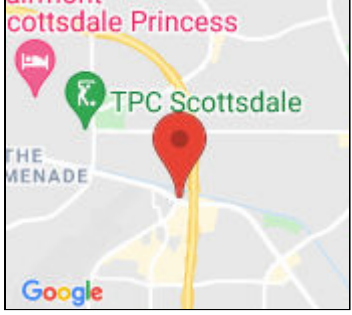
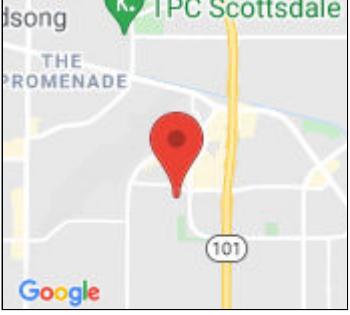
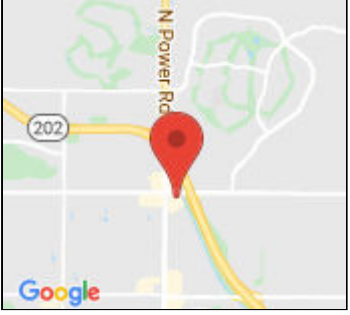
LOCATION: Scottsdale, AZ, 85259

Scheme 5

	<p>DEC717 Baked Potato Trim RL#682</p>
<p>DEC718 Mesa Tan Body RL#687</p>	<p>DE6119 Neutral Valley Accent RL#556</p>

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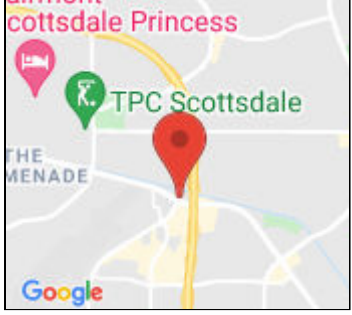
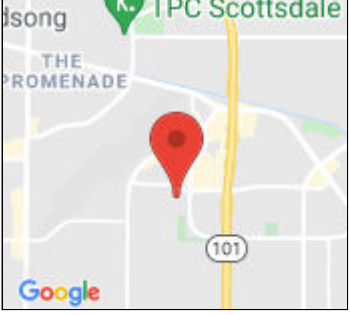
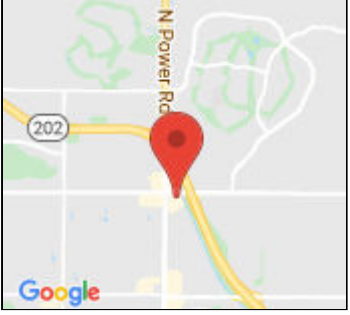
LOCATION: Scottsdale, AZ, 85259

Scheme 6

<p>DE6214 Pigeon Gray Main Body and Garage Door Color Options RL#570</p>	<p>DE6215 Wooden Peg Trim Color Options RL#570</p>
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SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 7

	<p>DE6123 Trail Dust Trim RL#557</p>
<p>DE6215 Wooden Peg Body RL#570</p>	<p>DE6068 Cobblestone Path Accent RL#549</p>

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SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 8

	<p>DE6215 Wooden Peg Trim RL#570</p>
<p>DE6123 Trail Dust Body RL#557</p>	<p>DE6069 Bannister Brown Accent RL#549</p>

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SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 9

	<p>DEC718 Mesa Tan Trim Option 1 RL#687</p>
<p>DEC717 Baked Potato Body/Garage Door RL#682</p>	<p>DE6125 Carved Wood Trim Option 2 RL#557</p>

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SUBDIVISION: Hidden Hills

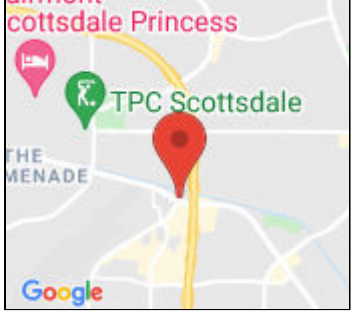
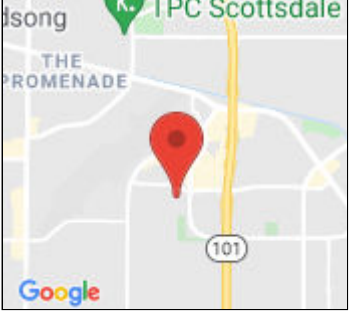
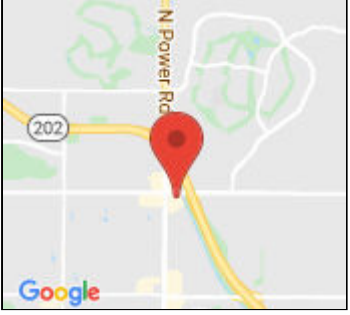
LOCATION: Scottsdale, AZ, 85259

Scheme 10

<p>DE6068 Cobblestone Path Body/Garage Door RL#549</p>	<p>DE6069 Bannister Brown Trim Option RL#549</p>
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SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 11

	<p>DE6216 Barrel Stove Trim Option 1 RL#570</p>
<p>DE6215 Wooden Peg Body/Garage Door RL#570</p>	<p>DE6217 Ancient Earth Trim Option 2 RL#570</p>

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LOCATION: Scottsdale, AZ, 85259

Scheme 12

	<p>DET682 Art and Craft Trim Option 1 RL#979</p>
<p>DET692 Kiln Dried Main Body and Garage Door Color Options RL#989</p>	<p>DET681 Moderne Class Trim Option 2 RL#978</p>

NOTES TO HOMEOWNERS: Sept 2018

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188531-000

CONVENIENT DUNN-EDWARDS STORE LOCATIONS

Scottsdale - 065 8686 Frank Lloyd Wright Blvd	Scottsdale Contractor - 084 8350 E Evans Rd #F2	Red Mountain - 197 2733 N Power Road #108
(480) 483-3131	(480) 607-7165	(480) 955-0870

COLOR USE ADVISORY: The color schemes presented are based on original color specifications approved by your community. Your community's color standards may have changed. Before undertaking your painting project, it is recommended that you seek approval of your color selections from the appropriate governing body for your community.

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Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 13

	<p>DE6110 Warm Hearth Trim Option 1 RL#555</p>
<p>DE6111 S'mores Body/Garage Door RL#555</p>	<p>DE6112 Cedar Chest Trim Option 2 RL#555</p>

NOTES TO HOMEOWNERS:

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<p>Scottsdale - 065 8686 Frank Lloyd Wright Blvd</p>	<p>Scottsdale Contractor - 084 8350 E Evans Rd #F2</p>	<p>Red Mountain - 197 2733 N Power Road #108</p>
<p>(480) 483-3131</p>	<p>(480) 607-7165</p>	<p>(480) 955-0870</p>

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Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 14

	DE6117 Colorado Trail Trim Option 1 RL#556
DE6118 Sandpit Body/Garage Door RL#556	DE6119 Neutral Valley Trim Option 2 RL#556

NOTES TO HOMEOWNERS:

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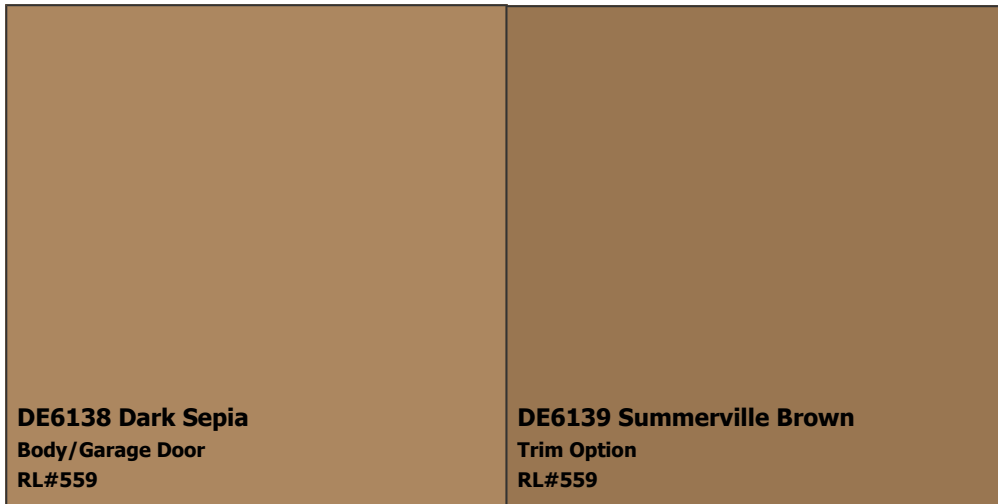
Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 15



NOTES TO HOMEOWNERS:

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<h2 style="margin: 0;">Courtesy Discount*</h2>	CONVENIENT DUNN-EDWARDS STORE LOCATIONS																				
<p>Provide this account number and save up to 37% off LIST PRICE on Dunn-Edwards manufactured paint products.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Scottsdale - 065</td> </tr> <tr> <td colspan="2" style="text-align: center;">8686 Frank Lloyd Wright Blvd</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 483-3131</td> <td style="width: 50%;"></td> </tr> </table>	Scottsdale - 065		8686 Frank Lloyd Wright Blvd		(480) 483-3131		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Scottsdale Contractor - 084</td> </tr> <tr> <td colspan="2" style="text-align: center;">8350 E Evans Rd #F2</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 607-7165</td> <td style="width: 50%;"></td> </tr> </table>	Scottsdale Contractor - 084		8350 E Evans Rd #F2		(480) 607-7165		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">Red Mountain - 197</td> </tr> <tr> <td colspan="2" style="text-align: center;">2733 N Power Road #108</td> </tr> <tr> <td style="width: 50%; text-align: center;">(480) 955-0870</td> <td style="width: 50%;"></td> </tr> </table>	Red Mountain - 197		2733 N Power Road #108		(480) 955-0870	
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Hidden Hills



SUBDIVISION: Hidden Hills

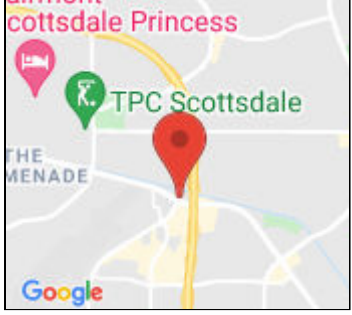
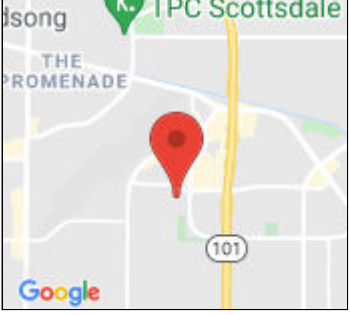
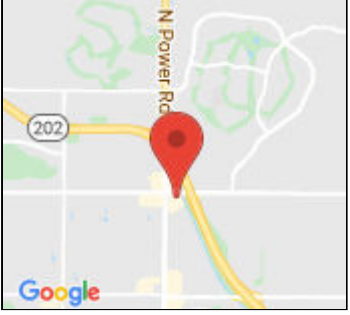
LOCATION: Scottsdale, AZ, 85259

Scheme 16

	<p>DE6123 Trail Dust Trim Option 1 RL#557</p>
<p>DE6124 Whole Wheat Body/Garage Door RL#557</p>	<p>DE6126 Stockhorse Trim Option 2 RL#557</p>

NOTES TO HOMEOWNERS:

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Hidden Hills



SUBDIVISION: Hidden Hills

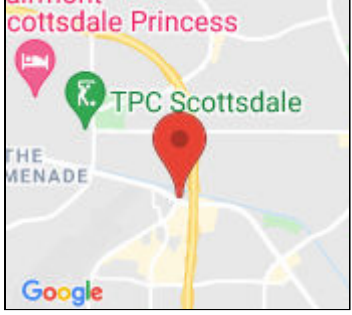
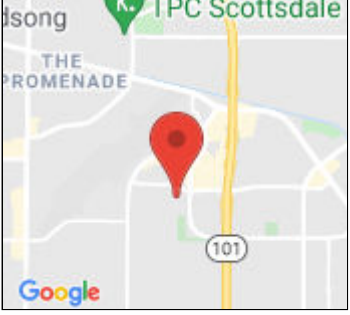
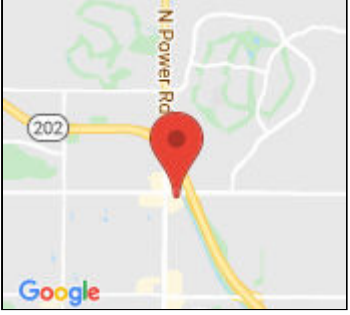
LOCATION: Scottsdale, AZ, 85259

Scheme 17

	<p>DE6124 Whole Wheat Trim Option 1 RL#557</p>
<p>DE6125 Carved Wood Body/Garage Door RL#557</p>	<p>DE6123 Trail Dust Trim Option 2 RL#557</p>

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<h2 style="margin: 0;">Courtesy Discount*</h2> <p style="font-size: small; margin: 5px 0;">Provide this account number and save up to 37% off LIST PRICE on Dunn-Edwards manufactured paint products.</p> <div style="border: 1px solid black; padding: 5px; text-align: center; font-weight: bold; font-size: large;">188531-000</div>	CONVENIENT DUNN-EDWARDS STORE LOCATIONS		
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Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Scheme 18

	<p>DE6124 Whole Wheat Trim Option 1 RL#557</p>
<p>DE6123 Trail Dust Body/Garage Door RL#557</p>	<p>DE6125 Carved Wood Trim Option 2 RL#557</p>

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<p>188531-000</p>			

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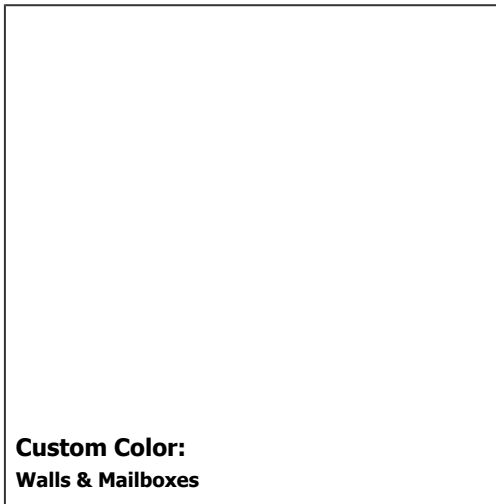
Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Walls & Mailboxes



NOTES TO HOMEOWNERS: Custom Color: Retainer #0023-3306-1113 Hidden Hills Walls & Mailboxes. Per HOA regulations use Spartashield Flat (SSHL10) paint.

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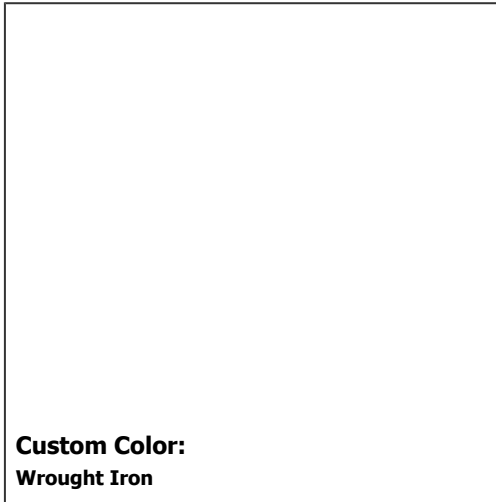
Hidden Hills



SUBDIVISION: Hidden Hills

LOCATION: Scottsdale, AZ, 85259

Wrought Iron



NOTES TO HOMEOWNERS: Custom Color: Retainer #0065-3653-1213 Hidden Hills Wrought Iron. Per HOA regulations use Evershield Semi Gloss(EVSH50) paint.

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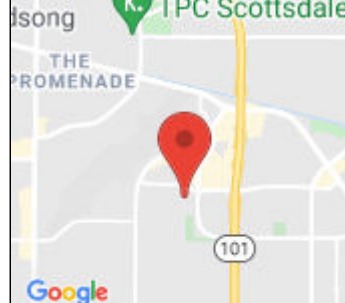
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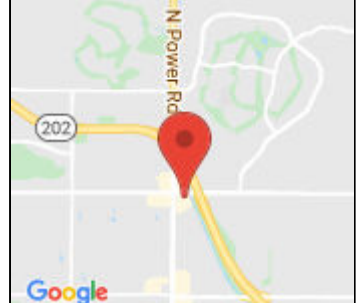
Scottsdale Contractor - 084
8350 E Evans Rd #F2

(480) 607-7165



Red Mountain - 197
2733 N Power Road #108

(480) 955-0870



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Custom Preliminary Design Review Submittal Checklist

Design Review Fee/Deposit

- \$10,000.00 Deposit with Application

Site Plan

- Property lines (A survey by a land surveyor licensed in the state of Arizona drawn at the same scale as the site plan and showing lot boundaries and dimensions, setbacks, utilities and easements)
- Minimum scale 1"=20'-0"

Floor Plan

- Showing rooms with room names, finish floor elevations and patios, sidewalks, walls and fences attached to building.
- Minimum scale $\frac{1}{8}" = 1'$

Roof Plan

- Showing roof slopes, skylight(s), roof materials, scuppers and/or downspouts. Elevations of roof tops relative to natural grade below.
- Minimum scale $\frac{1}{8}" = 1'$

Exterior Elevations

- All exterior elevations of all buildings
- All finish materials and colors
- Natural and finish grades
- Roof slopes
- Elevation ridgelines
- Minimum scale $\frac{1}{8}" = 1'$

Building Sections

- Provide two building sections
- Natural and finish grades
- Height of structures
- Maximum allowable height above grade
- Preliminary landscape concept plan at same scale as site plan.
- Minimum scale $\frac{1}{8}" = 1'$

Review

- The ARC shall, within 30-days of receipt of all necessary material, issue a letter indicating approval or disapproval and any modifications required.

Final Design Review Submittal Checklist

Construction Documents

- Four (4) complete construction documents including site plan, floor plan, foundation plan, framing plan, building sections, elevations, electrical layout and specifications.
- Details of dormers, roof overhangs, porch roofs, columns, railings, decks, exterior fireplaces, fencing, mailbox, solar applications, and other features.
- All utility and meter locations.
- Show mechanical units including air handlers and condenser units.
- Finish floor elevations of all structures.
- Square footage of all living areas.
- Incorporate all adjustments required by the Preliminary Design Submittal.
- Minimum scale 1" = 20'-0"

Material Selections

- Roofing material sample.
- Stone and/or masonry sample.
- Paint color numbers and LRVs.
- Stain color sample.
- Glass Specification.

Landscape Plan

- Legend of materials
- Four (4) site plan detailing structure placement, easements, property entrances and street orientation, hardscape design and placement including design and materials for fencing, water features, sidewalks, paths, firepits, exterior fireplaces, permanent seating, pergolas, arbors and garden sites.

Review

- The ARC shall, within 30-days of receipt of all necessary materials, issue a letter indicating approval or disapproval and any modifications required.

Hidden Hills of Scottsdale
Preliminary Design Review Application

Refer to attached Preliminary Design Review Submittal Checklist

Date: _____

Lot: _____

Street Address: _____

Owner Information:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Architect/Designer:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Contractor(Optional):

Name: _____

Address: _____

Phone: _____ **Fax:** _____

License No: _____

Hidden Hills of Scottsdale
Final Design Review Application

Refer to attached Final Design Review Submittal Checklist

Date: _____

Lot: _____

Street Address: _____

Owner Information:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Architect/Designer:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Contractor(Optional):

Name: _____

Address: _____

Phone: _____ **Fax:** _____

License No: _____

Hidden Hills of Scottsdale
Final Design Review Inspection

Date: _____

Lot: _____

Street Address: _____

Owner Information:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Inspection Requested by:

Name: _____

Address: _____

Phone: _____ **Fax:** _____

Signature: _____